



KITTTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926
CDS@CO.KITTTITAS.WA.US
Office (509) 962-7506

"Building Partnerships – Building Communities"

SHORELINE PERMITTING

(For projects located within 200 feet of a body of water and/or associated floodway and wetlands under the jurisdiction of the Shoreline Master Program)

A preapplication conference is REQUIRED per KCC 15A.03.020 for this permit. The more information the County has early in the development process, the easier it is to identify and work through issues and conduct an efficient review. To schedule a preapplication conference, complete and submit a Preapplication Conference Scheduling Form to CDS. Notes or summaries from preapplication conference should be included with this application.

REQUIRED INFORMATION / ATTACHMENTS



A scaled site plan is required showing location of all structures, driveways, well, septic, fences, etc. and proposed uses and distances from property lines, river, and Horizontal distance from OHWM. To show the Horizontal distance a profile view from the OHWM to the edge of structure/activity shall also be shown.

Include JARPA or HPA forms *if required* for your project by a state or federal agency.

Please check the box next to the most restrictive type of shoreline permit you are requesting:

- Shoreline Substantial Development Permit - Fee: (CDS: \$2,210 + PW: \$550 = \$2,760) + SEPA, if not exempt
- Shoreline Conditional Use Permit - Fee: (CDS: \$4,00 + PW: \$550 = \$4,550) + SEPA, if not exempt
- Shoreline Variance - Fee: (CDS: \$4,000 + PW: \$550 = \$4,550) + SEPA, if not exempt

APPLICATION FEES:

(see above) Kittitas County Community Development Services (KCCDS)
(see above) Kittitas County Department of Public Works
\$1,810.00 SEPA Checklist, if not exempt - Fee: CDS: \$600 + PW: \$950 + PH: \$260)

(see above) **Total fees due for this application** (One check made payable to KCCDS)

FOR STAFF USE ONLY

| | | | |
|--|-----------------|-------------------------|---|
| Application Received By (CDS Staff Signature): | DATE: 2/6/25 | RECEIPT # CD25-00242 | RECEIVED FEB 06 2025 Kittitas County CDS DATE STAMP IN BOX |
|--|-----------------|-------------------------|---|

General Application Information**1. Name, mailing address and day phone of land owner(s) of record:***Landowner(s) signature(s) required on application form.*

Name: JASON ALLEN

Mailing Address: 822 NW 107TH STREET

City/State/ZIP: SEATTLE, WA 98177

Day Time Phone: 206-355-7490

Email Address: jason.c.allen@gmail.com

2. Name, mailing address and day phone of authorized agent, if different from landowner of record:*If an authorized agent is indicated, then the authorized agent's signature is required for application submittal.*

Agent Name: _____

Mailing Address: _____

City/State/ZIP: _____

Day Time Phone: _____

Email Address: _____

3. Name, mailing address and day phone of other contact person*If different than land owner or authorized agent.*

Name: ENCOMPASS ENGINEERING & SURVEYING: ATTN: MONICA TAPPEL

Mailing Address: 110 SOUTH OAKES AVE. #250

City/State/ZIP: CLE ELUM, WA 98922

Day Time Phone: 509-674-7433

Email Address: mtappel@encompasses.net

4. Street address of property:

Address: 320 MORNING DOVE LANE

City/State/ZIP: CLE ELUM, WA 98922

5. Legal description of property: (attach additional sheets as necessary)

LOT 40 AND THE SOUTH 3.95 FEET OF LOT 41, BLOCK 4, ELK MEADOWS, IN THE COUNTY OF KITTITAS, STATE OF WASHINGTON, AS PER PLAT THEREOF RECORDED IN BOOK 3 OF PLATS, PAGES 67 THROUGH 71, RECORDS OF SAID COUNTY.

6. Tax parcel number(s): 820734 (20-14-22052-0440)

7. Property size: ±0.40 ACRES (acres)

8. Provide section, township, and range of project location:

¼ Section SE Section 22 Township 20 N. Range 14 E., W.M.

9. Latitude and longitude coordinates of project location (e.g. 47.03922 N lat. / -122.89142 W long.):
N47°12'21.99" / W121°04'13.67" [use decimal degrees – NAD 83]

10. Type of Ownership: (check all that apply)

- Private
- Federal
- State
- Local
- Tribal

11. Land Use Information:

Zoning: RURAL 5 Comp Plan Land Use Designation: RURAL RESIDENTIAL

12. Shoreline Designation: (check all that apply)

- Urban Conservancy
- Shoreline Residential
- Rural Conservancy
- Natural
- Aquatic

13. Type of Shoreline Permit(s) requested (check all that apply):

a. Shoreline Substantial Development Permit will always be required unless proposal meets an exemption per WAC 173-27-040.

- Shoreline Substantial Development Permit; or
- Shoreline Exemption Permit (see Shoreline Exemption Permit application)

b. Only check one or both of the boxes below if they are applicable.

- Shoreline Conditional Use Permit
**must answer question 32. a.-h. below.*
- Shoreline Variance
**must answer questions 33. a.-g. and 34. a.-b. (if applicable) below.*

14. Fair Market Value of the project, including materials, labor, machine rentals, etc. ~\$21,000.00

15. Anticipated start and end dates of project construction: Start SEPT. 2025 End JAN/FEB 2026
EXTERIOR WORK TO BE COMPLETED FIRST, FOLLOWED BY INTERIOR REMODEL

Project Description

16. Briefly summarize the purpose of the project:

WE ARE PROPOSING A MINOR DECK ADDITION TO AN EXISTING SINGLE-FAMILY RESIDENCE. THE NET ADDITION TO THE DECK WOULD BE 179 SQFT. A SMALLER 63 SQFT DECK WILL BE REMOVED. WE ARE ALSO LOOKING TO REMODEL THE INTERIOR OF THE HOME, WITH NO INCREASE TO THE EXISTING FOOTPRINT.

17. What is the primary use of the project (e.g. Residential, Commercial, Public, Recreation)?
RESIDENTIAL

18. What is the specific use of the project (e.g. single family home, subdivision, boat launch, restoration project)?
SINGLE FAMILY HOME REMODEL WITH DECK ADDITION

Vegetation

19. Will the project result in clearing of tree or shrub canopy? (check one)

- Yes
- No

If 'Yes', how much clearing will occur? _____ (square feet and acres)

20. Will the project result in re-vegetation of tree or shrub canopy? (check one)

Yes No

TREES AND/OR SHRUBS WILL BE PLANTED FOR MITIGATION

If 'Yes', how much re-vegetation will occur? ± 88 ft (square feet and acres)

Wetlands

21. Will the project result in wetland impacts? (check one)

Yes No

If 'Yes', how much wetland will be permanently impacted? _____ (square feet and acres)

22. Will the project result in wetland restoration? (check one)

Yes No

If 'Yes', how much wetland will be restored? _____ (square feet and acres)

Impervious Surfaces

23. Will the project result in creation of over 500 square feet of impervious surfaces? (check one)

Yes No

If 'Yes', how much impervious surface will be created? _____ (square feet and acres)

24. Will the project result in removal of impervious surfaces? (check one)

Yes No

If 'Yes', how much impervious surface will be removed? 63 SQFT (square feet and acres)

Shoreline Stabilization

25. Will the project result in creation of structural shoreline stabilization structures (revetment/bulkhead/riprap)?

(Check one) Yes No

If 'Yes', what is the net linear feet of stabilization structures that will be created? _____

26. Will the project result in removal of structural shoreline stabilization structures (revetment/bulkhead/riprap)?

(Check one) Yes No

If 'Yes', what is the net linear feet of stabilization structures that will be removed? _____

Levees/Dikes

27. Will the project result in creation, removal, or relocation (setting back) of levees/dikes?

(check one) Yes No

If 'Yes', what is the net linear feet of levees/dikes that will be created? _____

If 'Yes', what is the net linear feet of levees/dikes that will be permanently removed? _____

If 'Yes', what is the linear feet of levees/dikes that will be reconstructed at a location further from the OHWM? _____

Floodplain Development

28. Will the project result in development within the floodplain? (check one)

- Yes No

If 'Yes', what is the net square feet of structures to be constructed in the floodplain? 179 SQFT

**Note: A floodplain development is required per KCC 14.08; please contact Kittitas County Public Works*

29. Will the project result in removal of existing structures within the floodplain? (check one)

- Yes No

If 'Yes', what is the net square footage of structures to be removed from the floodplain? 63 SQFT

Overwater Structures

30. Will the project result in construction of an overwater dock, pier, or float? (check one)

- Yes No

If 'Yes', how many overwater structures will be constructed? _____

What is the net square footage of water-shading surfaces that will be created? _____

31. Will the project result in removal of an overwater dock, pier, or float? (check one)

- Yes No

If 'Yes', how many overwater structures will be removed? _____

What is the net square footage of water-shading surfaces that will be removed? _____

Shoreline Conditional Use Permit

(answer ONLY if requesting this permit)

**Must demonstrate your proposal meets all of the following per Kittitas County Shoreline Master Program (SMP):*

32. Answer the following questions on a separate sheet and attach to this application packet.

- a. That the proposed use is consistent with the policies of RCW 90.58.020 and the Master Program;
- b. That the proposed use will not interfere with the normal public use of public shorelines;
- c. That the proposed use of the site and design of the project is compatible with other authorized uses within the area and with uses planned for the area under the comprehensive plan and SMP;
- d. That the proposed use will cause no significant adverse effects to the shoreline environment in which it is to be located;
- e. That the public interest suffers no substantial detrimental effect;
- f. That if conditional use permits were granted for other developments in the area where similar circumstances exist, the cumulative impact of such uses would remain consistent with the policies of RCW 90.58.020 and not produce substantial adverse effects to the shoreline environment.
- g. That the proposed use has been appropriately conditioned to prevent undesirable effects of the proposed use and to assure consistency of the project with the Act and the local Master Program.
- h. When converting from one nonconforming use to a different nonconforming use, the applicant must demonstrate that no reasonable alternative conforming use is practical and that the proposed use will be at least as consistent with the policies and provisions of the Act and the Master Program and as compatible with the uses in the area as the pre-existing use.



33 a. That the strict application of the bulk, dimensional or performance standards set forth in the applicable Master Program precludes, or significantly interferes with, reasonable use of the property.

The existing single-family home was built in 1989 so it is expected that in this amount of time the home would need repairs or remodels in order to keep current with the typical single family living experience. The deck is an accessory use and the addition to it is natural maintenance and repair of that use that is expected over time. The deck addition is a minor reconfiguration ingress/egress from the single-family home which allows for a safer covered entrance to the home. The net addition of deck coverage is 179 sqft. There will be no increase in the footprint of the existing home.

33 b. That the hardship is specifically related to the property, and is the result of unique conditions such as irregular lot shape, size, or natural features and the application of the Master Program, and not, for example, from deed restrictions or the applicant's own actions.

The parcel is zoned Rural 5 with a Rural Residential land use within a Shoreline environment. Per 17B.05.050-1 and 17B.06.200-1 the shoreline buffer is 100' from OHWM and building setbacks are an additional 15' from the edge of the shoreline buffer. Based off the topographic survey the existing home is fully located within the shoreline buffer so nothing can be done to the existing home, or in the immediate vicinity, that isn't in the buffer zone.

33 c. That the design of the project is compatible with other authorized uses within the area and with uses planned for the area under the comprehensive plan and SMP and will not cause adverse impacts to the shoreline environment.

There are existing homes throughout the development, with homes located to the North and South of the parcel. Single family residences are a permitted use in this zone.

The adjacent homes both have decks as part of their home construction, and I would assume most developed properties in the area have some sort of outdoor accessory deck or patio to their homes. Decks are a typical accessory use to a single-family residence. The applicant is proposing a minimal deck addition to the home which is scaled to match this smaller single-family structure.

The proposed deck addition is at the second story level with the overall impact to the ground being minimal. The footings that will be required for the necessary structural support is a temporary impact to the shoreline buffer. In order to reduce the impact, we are proposing the attached mitigation plan provided by Ed Sewall with Sewall Wetland Consulting, Inc. The proposed mitigation plan would enhance the edge of the river and add native vegetation to the site, therefore increasing the net ecological function of the property waterward of the single-family home.

33 d. That the variance will not constitute a grant of special privilege not enjoyed by the other properties in the area.

This neighborhood was established in the 1960's with the plat being recorded in 1963, prior to the establishment of the Shoreline Master Program. There are existing homes located to the North and South of the parcel, and it is likely that the lots were developed without the consideration for the preservation of the natural landscape and ecology.

The proposed deck addition is not out of character for properties located along the river and the scale of the addition is minor improvement that does not exceed a reasonable use of the property. In addition, special care was taken to design the deck so it did not impact the floodway area.

33 e. That the variance requested is the minimum necessary to afford relief.

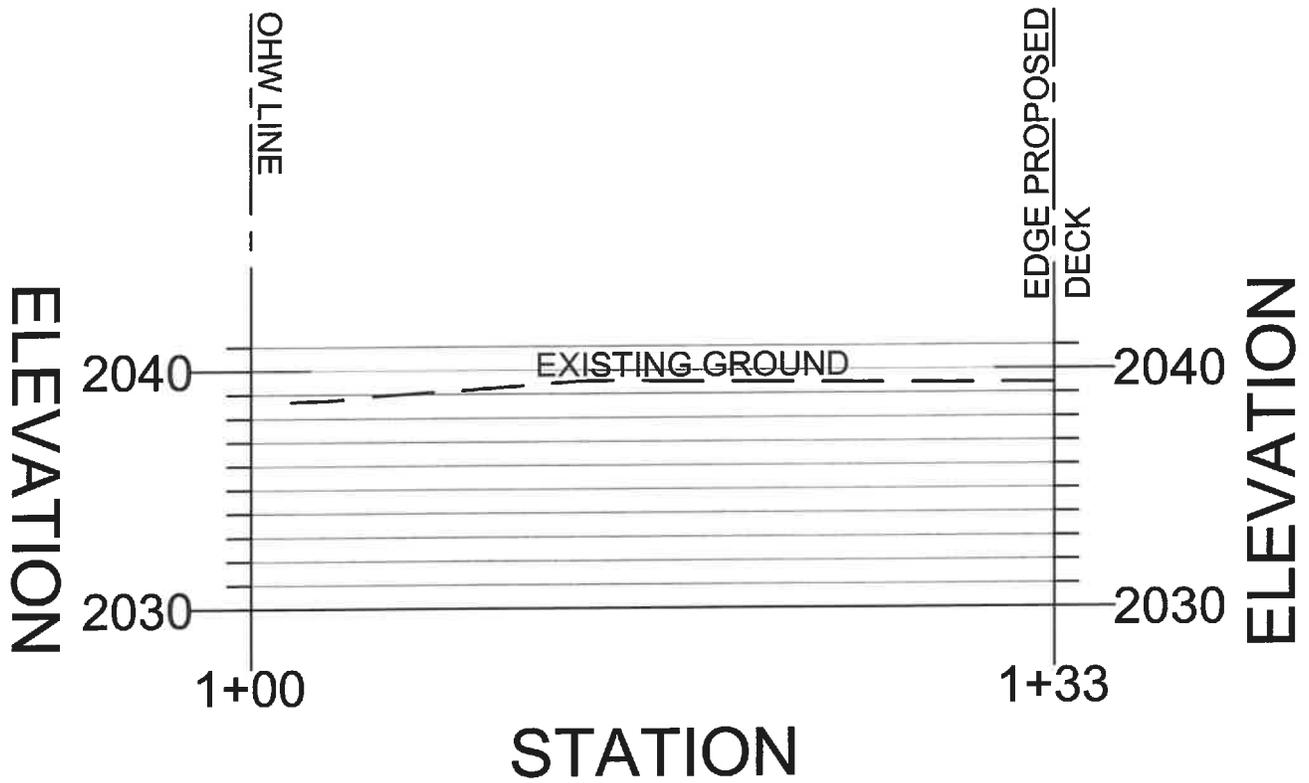
The entrances to the home have been condensed to 1 access point, instead of 2. This allows for some modification to the interior home without increasing the dwelling footprint. The roof added over the deck will provide better snow protection during the winter months and a safer access point into the home. We are proposing additional deck area to make the space more useable for the homeowners as recreation space and potentially some outdoor storage area. This is a reasonable use alteration on a single-family home. The 2nd story deck creates very minimal disturbance and impact to the ground. Special attention was given to minimize the overall impact to the shoreline environment, and the impact that was made is being mitigated with buffer enhancement that would not happen without this project development.

33 f. That the public interest will suffer no substantial detrimental effect.

There is no life or public safety concerns with this project. The remodel of the existing home will not increase the footprint of the livable space of the single-family home. The mitigation to enhance the shoreline buffer will actually be a benefit to the public as it enhances the habitat near the river.

33 g. That the cumulative impact of additional request for variances in the area where similar circumstances exist would not produce substantial adverse effects to the shoreline environment.

Minor improvements to homes along the river should not have an adverse effect on the river as long as they are kept at an appropriate scale and mitigation is required to enhance the shoreline and river habitat. We believe the proposed deck addition adheres to this criteria.



PROFILE OF OHW TO DECK



Sewall Wetland Consulting, Inc.

PO Box 880
Fall City, WA 98024

Phone: 253-859-0515

February 5, 2025

Jason Allen
320 Mourning Dove Lane
Cle Elum, Washington 98922

RECEIVED
FEB 06 2025

Kittitas County CDS

RE: Critical Areas Report – Parcel #820734
Kittitas County, Washington
SWC Job #24-182

Dear Jason,

This report describes our observations and delineation of any jurisdictional wetlands or streams on Parcel #820734, located at 320 Mourning Dove Lane, in unincorporated Kittitas County, Washington (the “site”).



Above: Vicinity map of the site.

The site consists of an irregular shaped, 0.35 acre parcel located within a portion of Sections 22 and 27, Township 20 North, Range 14 East of the W.M.



Above: Kittitas County Taxsifter aerial image of the site.

METHODOLOGY

Ed Sewall of Sewall Wetland Consulting, Inc. inspected the site on December 10, 2024. The site was reviewed using methodology described in the ***Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Arid West Region (Version 2.0)*** (USACOE September 2008) as required by the US Army Corps of Engineers starting in June of 2009. This is the methodology currently recognized by Kittitas County for wetland determinations and delineations. The site was also reviewed using methodology described in Soil colors were identified using the 1990 Edited and Revised Edition of the ***Munsell Soil Color Charts*** (Kollmorgen Instruments Corp. 1990).

Wetlands in Kittitas County are rated using the 2014 Washington State Department of Ecology Washington State *Wetland Rating System for Eastern Washington, 2014 Update*, dated June 2014 Publication No. 14-06-018.

OBSERVATIONS

Existing Site Documentation

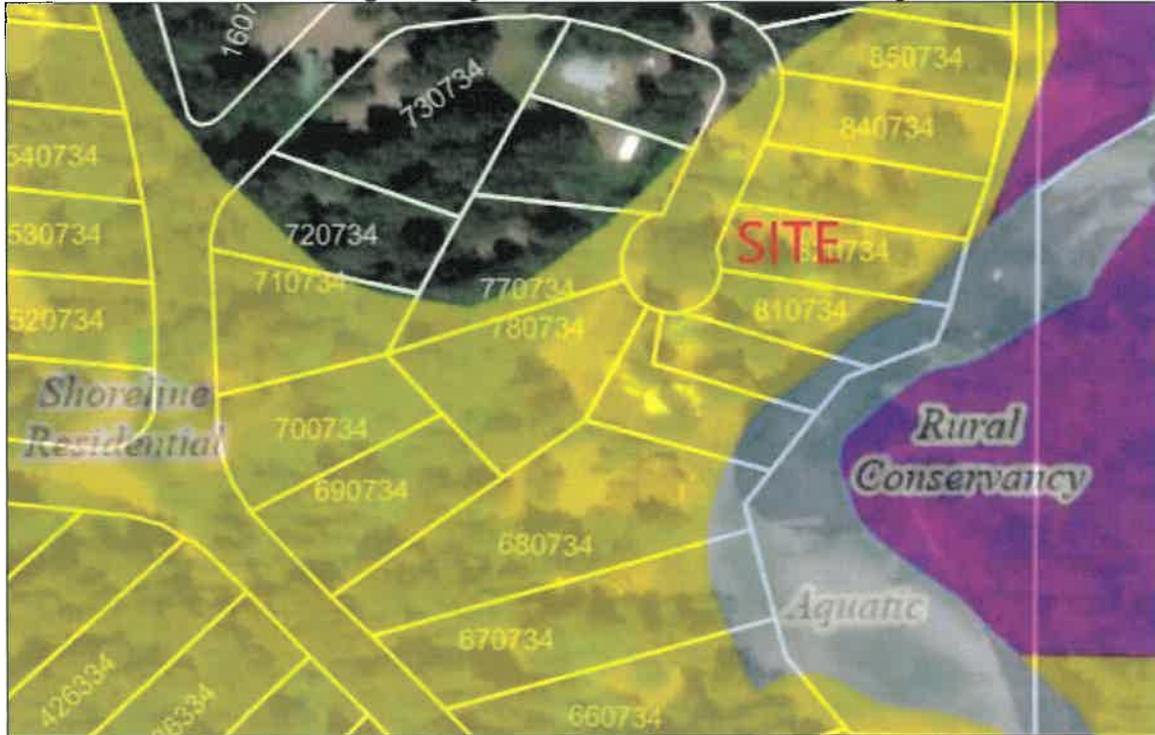
Prior to visiting the site, a review of several natural resource inventory maps was conducted. Resources reviewed included the Kittitas Taxsifter website, National Wetland Inventory Map, WDNR Fpars Stream Typing Map, Kittitas County flood & critical areas mapping, WDFW Priority Habitats and Species Maps, and the NRCS Soil Survey online mapping and Data.

Kittitas Taxsifter Website

The Kittitas Taxsifter website with streams, wetland and Shoreline layers activated depicts the Yakima River to the east as a riverine wetland. The site is located within the “Shoreline Residential” zone of the Yakima River.



Above: Kittitas County TaxsiFTER with wetland, stream layers activated.



Above: Kittitas County TaxsiFTER with Shoreline layers activated.

National Wetlands Inventory (NWI)

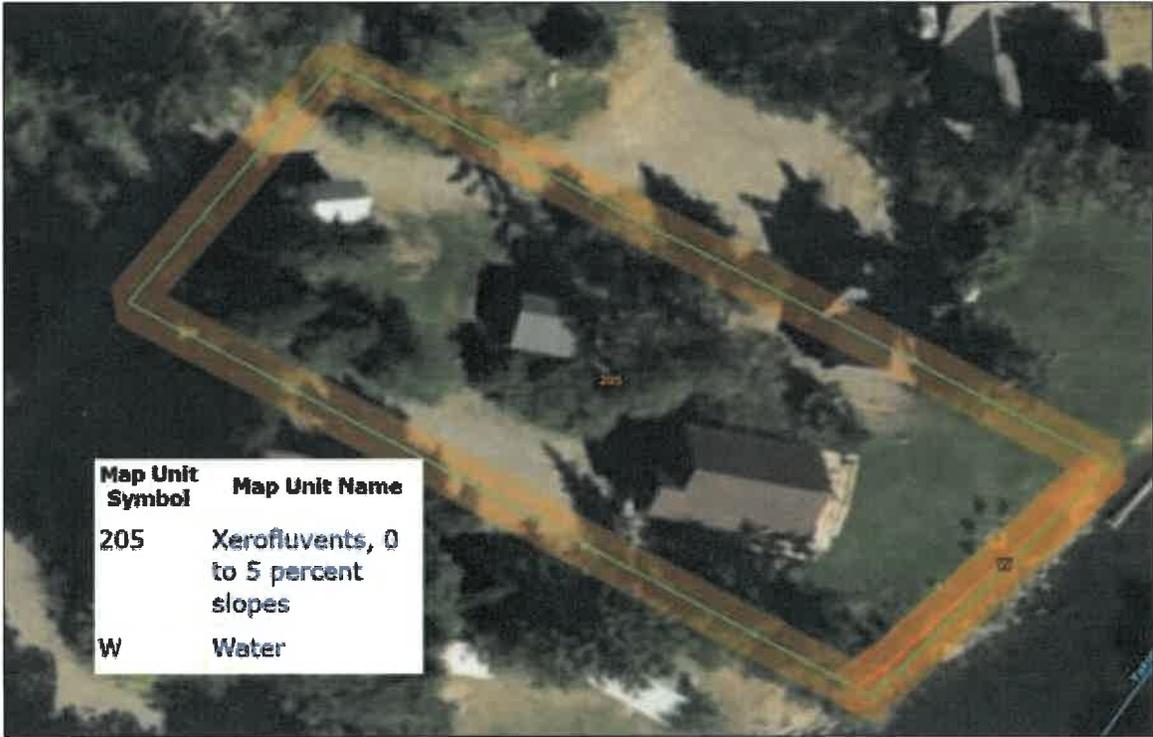
The NWI map depicts the Yakima River on the eastern side of the site as a riverine unconsolidated bottom feature.



Above: NWI map of the area of the site

Soil Survey

According to the NRCS Soil Mapper website, the site is mapped as containing moderately well drained Xerofluvents. Xerofluvent soils are not considered "hydric" or wetland soils according to the publication Hydric Soils of the United States (USDA NTCHS Pub No.1491, 1991).



Above: NRCS soil map of the site.

WADNR FPARS website

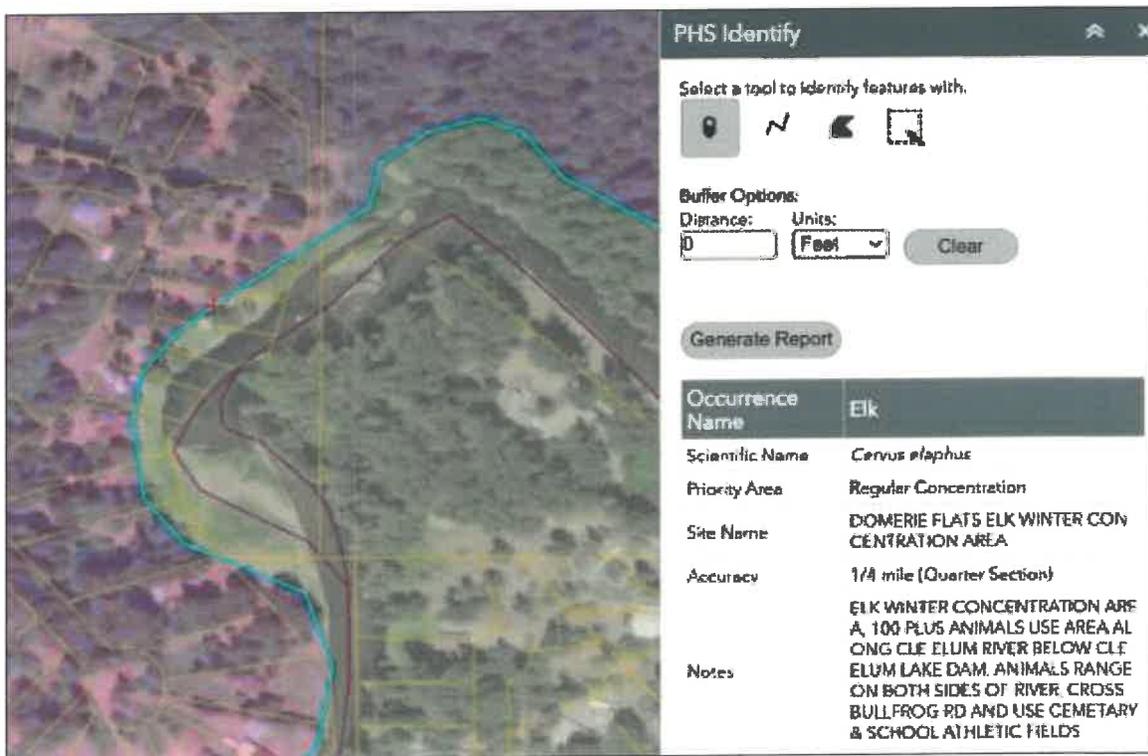
According to the WADNR FPARS website with stream types layers activated, the Yakima River is depicted as a Type S water.



Above: WADNR Fpars Stream Mapping of the area of the site.

WDFW Priority Habitats Maps

According to the WDFW Priority Habitat Website with Public access layers activated, the site is located within the Township in which the northern spotted owl, little brown bat, myotis species, and the yuma myotis are known to exist. The Yakima River contains chinook salmon, steelhead and bull trout.



Above: WDFW Priority Habitats Map of the site.

Field observations

The site consists of a single family residential lot with Mourning Dove Lane on the west, the Yakima River to the east and single family homes to the north and south.

The site contains a single family home as well as a small outbuilding as well as a gravel driveway and landscape lawn on the remainder of the site. Several scattered trees are also present including douglas fir, shore

pine, alder, and some red-osier dogwood and snowberry along the lot perimeter.

Soil pits excavated on the site revealed a very cobbly loam with a 1" layer of duff over a cobbly loam with a color of 10YR 3/3.

No wetlands were found on the site. As previously described, the Yakima River is located on the east side of the site. The ordinary high water mark of the river was located with gps points 384-387. The bank of the river on the site is an armored slope of boulders and old concrete debris. An old concrete step is located along the OHWM allowing access into the water.

The Yakima River is mapped as a Shoreline of the State or Type S water. Shoreline waters buffers are based upon KCC Table 17B.05.50-1. According to this table Type S waters in the Shoreline Residential Zone have a 100' buffer measured from the OHWM. An additional 15' BSBL is measured to any structure.

17B.05.50-1. Standard Shoreline Buffers (Type S Waters)

| Shoreline Environment Designation | Type S Standard Shoreline Buffer Width (feet) |
|-----------------------------------|---|
| Urban Conservancy | 100 |
| Shoreline Residential | 100 |
| Rural Conservancy | 100 |
| Natural | 150 |



Above: GPS map of the OHWM of the Yakima River and its associated 100' buffer.

Proposed Project

Proposed Impact

The proposed project is the expansion of the existing deck by 242sf (see attached plan). As part of the expansion 63sf of the existing deck will be removed by removal of the existing staircase and landing. The total expansion in the buffer after the deduction of the stair removal is 179sf.

The existing home and deck are within the 100' buffer of the Yakima River. As such the 179sf expansion is an impact to the buffer. There is no way to average the buffer within the code parameters for averaging as it is closer than 75% of the standard buffer.

Proposed mitigation

The proposed mitigation for the impacts to the buffer would focus on buffer enhancement along the edge of the river to improve shading of the river and add some native vegetation to the site. We would propose installation of 20 sitka willow or red osier dogwood stakes or slips within the existing armoring of the OHWM. This will add native vegetation long the immediate edge of the river and provide some shade to the river as

well as provide a source of organic litter to the river to benefit invertebrate abundance and ultimately benefit salmonids utilizing the river.



Above: Location of willow or dogwood slip placement on the site as mitigation for the deck expansion.

If you have any questions in regards to this report or need additional information, please feel free to contact me at (253) 859-0515 or at esewall@sewallwc.com .

Sincerely,
Sewall Wetland Consulting, Inc.

Ed Sewall
Senior Wetlands Ecologist PWS #212

Attached: Site Plan

REFERENCES

Cowardin, L., V. Carter, F. Golet, and E. LaRoe. 1979. Classification of Wetlands and Deepwater Habitats of the United States. U.S. Fish and Wildlife Service, FWS/OBS-79-31, Washington, D. C.

Environmental Laboratory. 1987. Corps of Engineers Wetlands Delineation Manual, Technical Report Y-87-1. U. S. Army Corps of Engineers Waterways Experiment Station, Vicksburg, Mississippi.

Kittitas County Municipal Code Title 17A

Muller-Dombois, D. and H. Ellenberg. 1974. Aims and Methods of Vegetation Ecology. John Wiley & Sons, Inc. New York, New York.

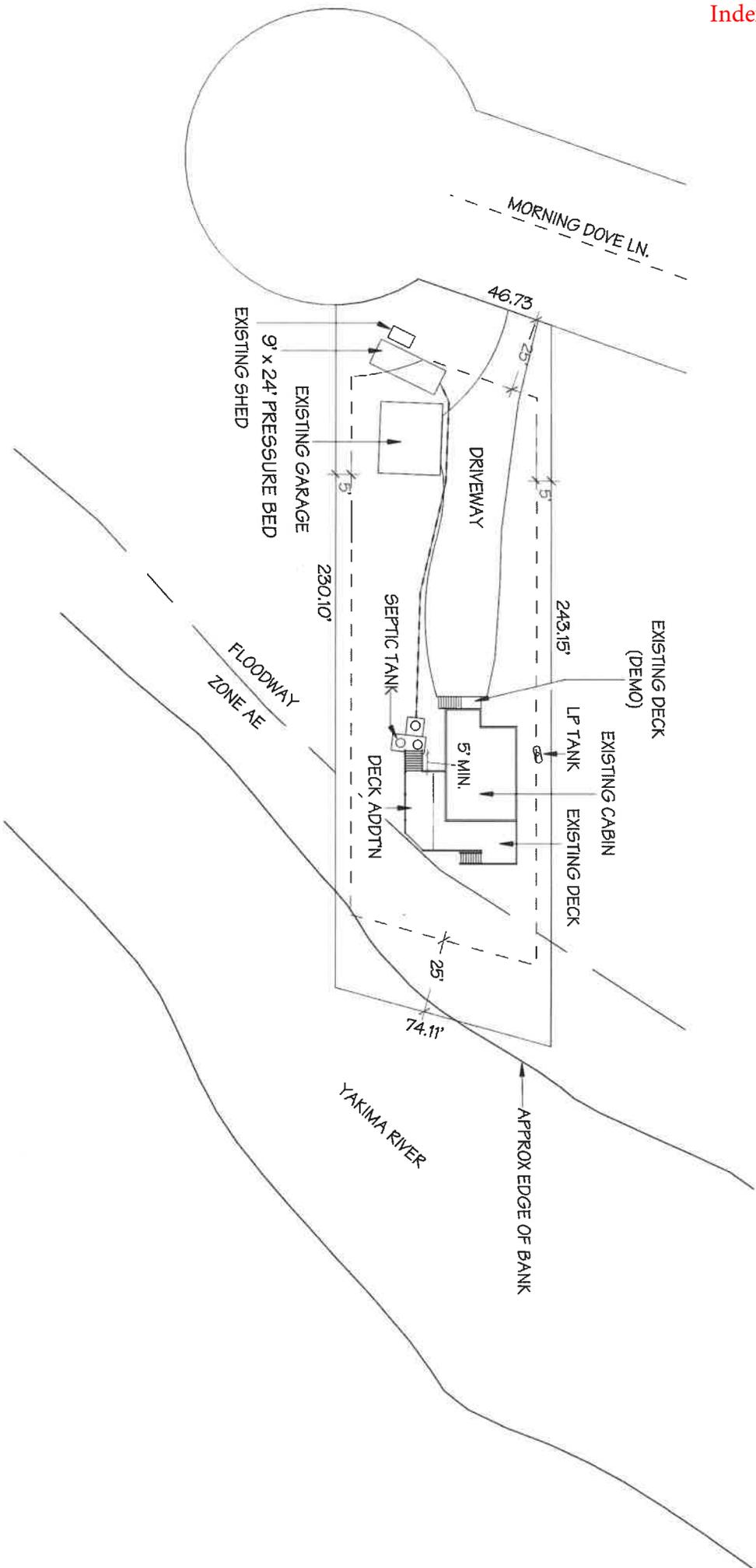
Munsell Color. 1988. Munsell Soil Color Charts. Kollmorgen Instruments Corp., Baltimore, Maryland.

National Technical Committee for Hydric Soils. 1991. Hydric Soils of the United States. USDA Misc. Publ. No. 1491.

Reed, P., Jr. 1988. National List of Plant Species that Occur in Wetlands: Northwest (Region 9). 1988. U. S. Fish and Wildlife Service, Inland Freshwater Ecology Section, St. Petersburg, Florida.

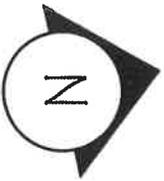
Reed, P.B. Jr. 1993. 1993 Supplement to the list of plant species that occur in wetlands: Northwest (Region 9). USFWS supplement to Biol. Rpt. 88(26.9) May 1988.

USDA NRCS & National Technical Committee for Hydric Soils, September 1995. Field Indicators of Hydric Soils in the United States - Version 2.1



SITE PLAN

1" = 50'



JASON ALLEN
 REMODEL/ADDITION
 320 MORNING DOVE LN.
 CLE ELUM, WA
 PARCEL ID # 820734



HENZLICHSEN
 Design, LLC

509-260-0614
 HOUSE-PLANS@HOTMAIL.COM
 WWW.HDESIGNLLC.COM



Letter of Transmittal



Western Washington Division
165 NE Juniper St., Suite 201, Issaquah, WA 98027
Tel (425) 392-0250

Eastern Washington Division
110 South Oakes Ave. #250, Cle Elum, WA 98922
Tel (509) 674-7433

Kittitas County CDS

To: Kittitas County CDS

Date: 02-06-2025

Job No. 221233

Attn:

Re: Jason Allen – Shoreline Variance

WE ARE SENDING YOU Attached Under separate cover via overnight mail/regular mail the following items:

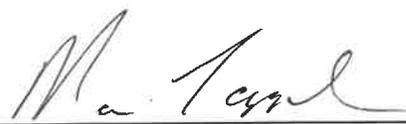
| PRINTS | PLANS | SHOP DRAWINGS | COPY OF LETTER | CHANGE ORDER | SAMPLES | SPECIFICATIONS | SUBMITTAL |
|--------|-------|---------------|----------------|--------------|---------|----------------|-----------|
| | | | | | | | |

| COPIES | DATE | NO. | DESCRIPTION |
|--------|----------|-----|--|
| 1 | 1-28-25 | 10 | Shoreline Permitting Application + Responses to Variance Questions |
| 1 | 2-5-25 | 12 | Mitigation Report provided by Sewall Wetland Consulting, Inc. |
| 1 | 11-13-24 | 14 | CDS Preapplication Meeting Notes |
| 1 | 9-7-23 | 8 | Preliminary Site Analysis Report |
| 1 | 7-10-24 | 11 | Architect Plans |
| 1 | 02-2025 | 1 | Scaled Site Plan |

THESE ARE TRANSMITTED as checked below:

- For approval Approved as submitted Resubmit ____ copies for approval For signature
- For your use Approved as noted Submit ____ copies for distribution
- As requested Returned for corrections Return ____ corrected prints
- For review and comment _____
- FOR BIDS DUE _____ PRINTS RETURNED AFTER LOAN TO US

REMARKS:

Signature:  Title: Associate Planner

Copy to: File

320 MORNING DOVE LANE

A PORTION OF THE SE 1/4 OF THE SE 1/4 OF SECTION 22, T. 20 N., R. 14 E., W.M.
KITITAS COUNTY, STATE OF WASHINGTON

RECEIVED
FEB 06 2025

Kittitas County CDS

SCALE: 1" = 20'



HORIZONTAL DATUM:

THE BASIS OF BEARINGS IS THE WASHINGTON STATE PLANE COORDINATE SYSTEM (SOUTH ZONE), N.A.D. 83 (11). ALL DISTANCES SHOWN HEREON ARE GROUND SCALE BASED ON A COMBINED SCALE FACTOR (CSF) OF 0.99988012897, MULTIPLY CSF BY GROUND DISTANCE TO OBTAIN GRID DISTANCES.

VERTICAL DATUM:

NAVD 88
CONTOUR INTERVAL = 1 FOOT

SURVEY NOTES AND STATEMENT OF TOPOGRAPHIC MAP ELEMENTS (WAC 332-130-145):

- THE PURPOSE OF THIS SURVEY IS TO ILLUSTRATE EXISTING AND PROPOSED FEATURES TO FACILITATE AN APPLICATION FOR A SHORELINE VARIANCE PERMIT ON LOT 40 & THE SOUTH 3.95 FEET OF LOT 41, BLOCK 4 OF THE PLAT OF ELK MEADOWS, BOOK 3 OF PLATS, PAGES 67-71 FOR DESIGN.
 - THIS SURVEY WAS PERFORMED USING A TRIMBLE S7, 3" TOTAL STATION WITH RESULTING ACCURACY THAT MEETS OR EXCEEDS STANDARDS PER WAC 332-130-090.
 - THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THEREFORE, IT DOES NOT PURPORT TO SHOW ALL EASEMENTS, ENCUMBRANCES OR RESTRICTIONS OF RECORD OR OTHERWISE.
 - FOR ADDITIONAL SURVEY AND REFERENCE INFORMATION, SEE THE FOLLOWING:
 - BOOK 3 OF PLATS, PAGES 67-71, APN: 389194
 - BOOK 5 OF SURVEYS, PAGE 47, APN: 427432
 - BOOK 31 OF SURVEYS, PAGE 61, APN: 200504080045
 - BOOK 31 OF SURVEYS, PAGE 164, APN: 200508150019
 - BOOK 38 OF SURVEYS, PAGE 102, APN: 201412120024
- AND THE SURVEYS REFERENCED THEREON, RECORDS OF KITITAS COUNTY, STATE OF WASHINGTON.
- THE CONTOURS SHOWN HEREON ARE BASED ON DIRECT FIELD OBSERVATIONS COMPLETED NOVEMBER 10, 2022.
 - THE ELEVATIONS AND CONTOURS SHOWN HEREON ARE ACCURATE TO ONE-HALF THE CONTOUR INTERVAL.
 - LOCATION OF EXISTING AND OBSERVABLE UTILITIES ARE FROM DIRECT FIELD OBSERVATIONS.
 - AGREED UPON SCOPE OF UTILITY INVESTIGATION BETWEEN THE PROJECT OWNER/AGENT AND SURVEYOR IS TO CAPTURE THE LOCATION OF EXISTING AND OBSERVABLE UTILITIES.

LEGAL DESCRIPTION PER STATUTORY WARRANTY DEED - AUDITOR'S FILE NO. 202107020007:

LOT 40 AND THE SOUTH 3.95 FEET OF LOT 41, BLOCK 4, ELK MEADOWS, IN THE COUNTY OF KITITAS, STATE OF WASHINGTON, AS PER PLAT THEREOF RECORDED IN BOOK 3 OF PLATS, PAGES 67 THROUGH 71, RECORDS OF SAID COUNTY.

PARCEL INFORMATION:

PARCEL NO. MAP NO.
82974 20-14-22052-0440

ADDRESS:

320 MORNING DOVE LANE
CLE ELUM, WA 98922

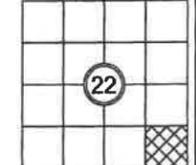
LEGEND

- CEDAR TREE
- FIR TREE
- DECIDUOUS TREE
- ORNAMENTAL TREE
- WATER VALVE
- FROST FREE HYDRANT
- WATER METER
- SEWER CLEANOUT
- POWER METER
- POWER OUTLET
- POWER POLE
- TELEPHONE PEDESTAL
- POST
- ELEVATION MARKER
- FINISH FLOOR
- RADIAL BEARING
- OVERHEAD POWER LINES

FLOODPLAIN INFORMATION:

- PORTIONS OF THIS PROPERTY LIE WITHIN THE REGULATORY FLOODPLAIN AND FLOODWAY AS INDICATED HEREON.
- THE BASE FLOOD ELEVATION (BFE) FOR THE EXISTING RESIDENCE IS 2045.6'.
- THE BASE FLOOD ELEVATION (BFE) FOR THE EXISTING GARAGE IS 2047.0'.

INDEX LOCATION
SEC. 22 T. 20 N.R. 14 E.W.M.



| REVISIONS | BY | DATE |
|-----------|----|------|
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2/6/2025

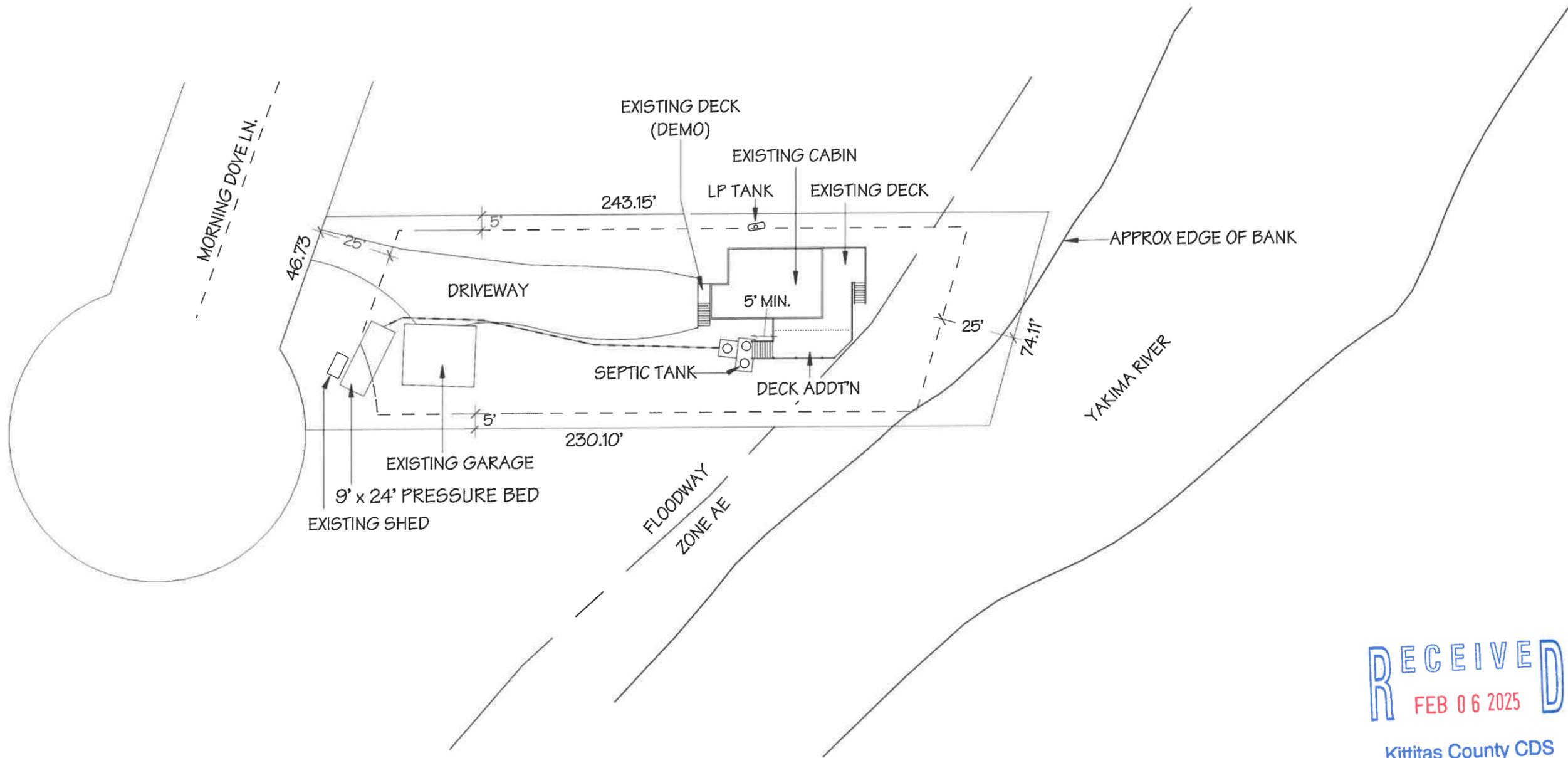
JASON ALLEN
SITE PLAN

Encompass
ENGINEERING & SURVEYING

Western Washington Division
165 NE Jupiter Street, Suite 201 • Wenatchee, WA 98807 • Phone: (509) 392-9250
407 Swinitzer Blvd. • Cle Elum, WA 98922 • Phone: (509) 674-7433

| | |
|----------|-------------|
| JOB NO. | 22123 |
| DATE | 02/2025 |
| SCALE | 1" = 20' |
| DESIGNED | N/A |
| DRAWN | D.L.P./G.W. |
| CHECKED | D.L.P. |
| APPROVED | D.L.P. |

SHEET 1 of 1



SITE PLAN

1" = 50'



JASON ALLEN
 REMODEL/ADDITION
 320 MORNING DOVE LN.
 CLE ELUM, WA
 PARCEL ID # 820734

HENTZICHSEN
 Design, LLC
 509-260-0614
 HOUSE-PLANS@HOTMAIL.COM
 WWW.HDESIGNLLC.COM

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PO BOX 364
SOUTH CLE ELUM
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509-260-0614

ENGINEER OF RECORD
PARCEL ID #
820734

JASON ALLEN
ADDITION
320 MORNING DOVE LN, CLE ELUM, WA

ARCH D (24x36)

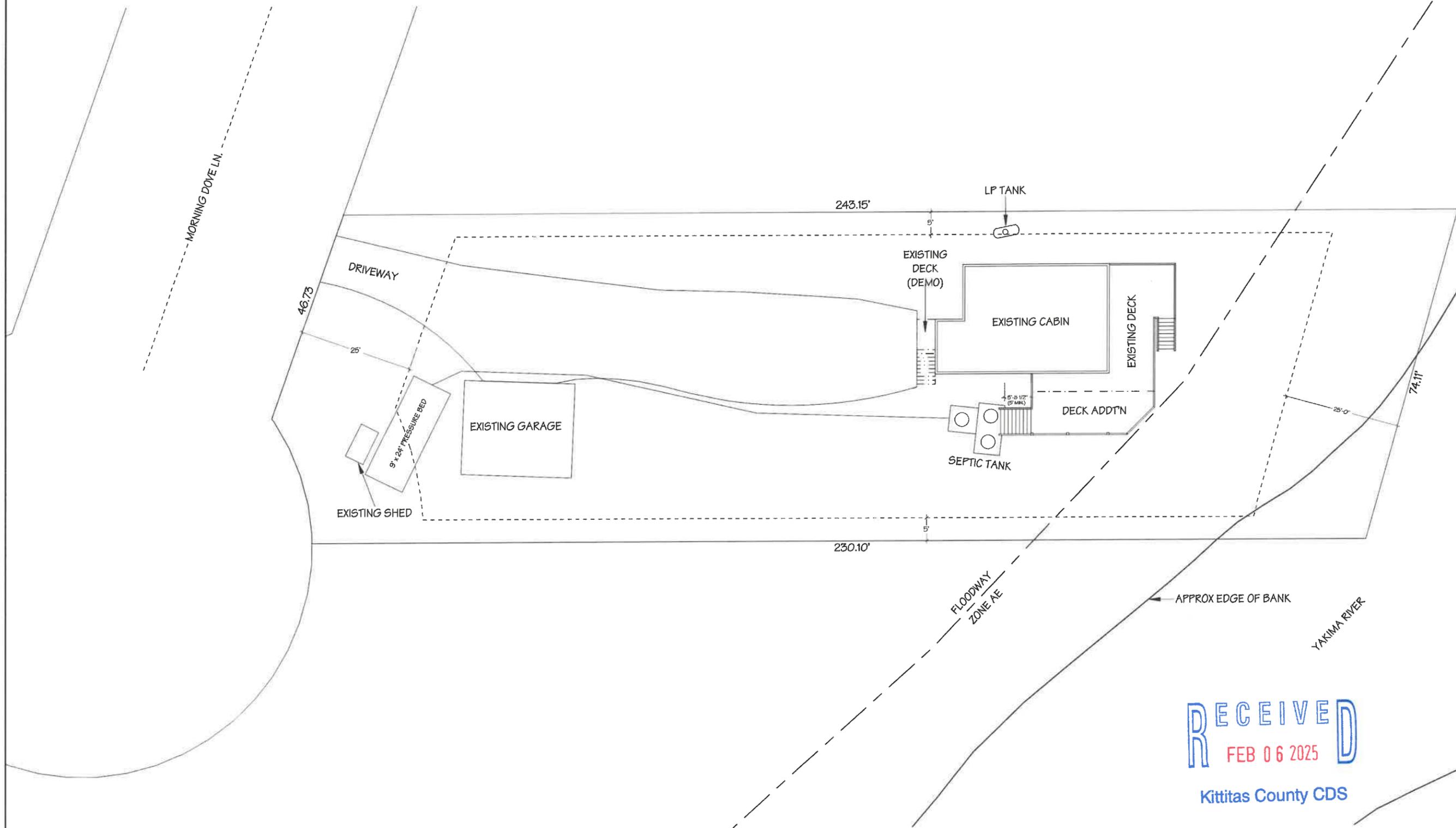
| DATE: | PURPOSE: |
|----------|-----------|
| 05/08/24 | V1 REVIEW |
| 05/13/24 | V2 REVIEW |
| 06/17/24 | TO ENGR'G |
| 07/10/24 | MARKUPS |

SITE PLAN

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GENERAL NOTES

GOVERNING CODE: The 2021 International Building Code shall govern design and construction.

CONTRACTOR RESPONSIBILITIES: The contractor is responsible for the means and methods of construction, job related safety standards, and the strength and stability of the structure during construction. He shall provide temporary shoring, bracing and other elements required to maintain stability until the structure is complete. The contractor shall be familiar with the work required in these documents and the requirements for executing it properly.

DISCREPANCIES: Discrepancies in these drawings shall be brought to the attention of Henrichsen Design, LLC and Engineer of record prior to beginning the work in question.

SITE VERIFICATION: The contractor shall verify all dimensions and conditions at the site.

ADJACENT UTILITIES: The contractor shall determine the location of all adjacent underground utilities prior to excavation and drilling.

SOILS and FOUNDATIONS

REFERENCE STANDARDS: Design and construction shall conform to IBC Chapter 18 "Soils and Foundations."

SOILS INSPECTION: The Building Official or a licensed Geotechnical Engineer shall inspect all prepared soil bearing surfaces prior to placement of concrete and reinforcing steel and shall verify the following DESIGN SOIL VALUES.

Allowable bearing pressure: 2000 psf
(assumes silty soil w/ gravel & rock, contractor to notify engineer if otherwise)

Passive lateral pressure: 350PCF e.f.p.
Active lateral pressure — unrestrained: 40PCF e.f.p.
Active lateral pressure — restrained: 60PCF e.f.p.
Coefficient of sliding friction: 0.25

FOOTING DEPTH: Exterior footings shall bear at least (24") below finish grade.

FOOTING CONSTRUCTION: Except where noted otherwise in these plans, concrete footings shall be constructed as follows: Footing shall be reinforced with #4 bars spaced at 8" OC located between the bottom third and mid-depth of footings. Strip (continuous) footings require reinforcement in the long direction only. Spread footing shall be reinforced in both directions. Vertical reinforcement for stem walls shall be cast in place extending to within 3" of footing bottom.

CONCRETE STEM WALLS: Except where noted otherwise in the plans, concrete stem walls shall be 6" wide and shall be reinforced with #4 bars spaced at 12" OC in the vertical and horizontal direction. One bar shall be located 4" from the top of wall with the hook end of anchor bolts held below this bar. Vertical reinforcement shall be cast in place in the footing concrete extending to 3" from bottom of footing (except for 24" tall monolithic footing / stem walls which require only (1) #4 horizontal at 4" from top, footing same as above.)

CONCRETE SLABS-ON-GRADE: Except where noted otherwise in these plans, concrete floor slabs shall be no less than 4" thick and shall be reinforced with W1.4 x W1.4 6x6 welded wire fabric (or #3 bars spaced at 18" e.w.) supported to remain in place between mid-depth of the slab and the upper third. Slabs shall be cast over a prepared compacted sub-base of 4" thick clean graded sand, gravel, or crushed stone passing a 2" sieve. A base course is not required over soils having a percolation rate greater than 4" per hour - Ref R506.2.2 exception & Table R405.1 Group 1 & footnote "a.")

WOOD

GRADING: All sawn lumber and engineered wood products shall be identified by a grade mark or a certificate of inspection by an approved agency complying with DOC P520 or equivalent.

LUMBER and TIMBER: Except where noted otherwise the species and grade of lumber and timber shall be as follows:
• Hem Fir No. 2 - Preservative-treated lumber and timber
• Douglas Fir No. 2 - All other lumber and timber

STRUCTURAL GLUE-LAMINATED TIMBER:

Conform to AITC I90.1 & ASTM D3737
Glulam - simple span DF/DF 24F-V4
Glulam - cantilever or continuous DF/DF 24F-V8
Camber simple span beams to 2000' radius unless noted otherwise.

RECTANGULAR ENGINEERED WOOD:

Conform to ASTM 5456
PSL - parallel strand lumber 2.0 E
LSL - laminated strand lumber 1.5 E
LVL - laminated veneer lumber 1.8 E

WOOD STRUCTURAL PANELS (Sheathing): Conforming to DOC P51 or PS2 according to type and shall be identified by the trademarks of an approved testing & inspection agency. Unless noted otherwise horizontal panels shall be installed with the long dimension perpendicular to supporting framing with panels continuous over two or more spans with adjacent rows of sheathing having staggered joints.

| Use: | Roof | Floor | Walls |
|--------------|-------|-------|-------|
| Thickness: | 5/8" | 3/4" | 7/16" |
| Span rating: | 40/20 | 48/24 | 24/16 |
| Panel grade: | C-D | C-D | C-D |
| Exposure: | 1 | 1 | 1 |

CONNECTORS: Prefabricated connectors shall be by the Simpson Strong-Tie Company as specified in their catalog No. C-C 2024. Connectors shall be installed per the manufacturer's instructions. Where connector straps connect two members, place one-half of the nails or bolts in each member. Provide washers under the heads and nuts of all bolts and lag screws bearing on wood. Unless noted otherwise all nails shall be common. All exterior Simpson connectors to have HDG or ZMAX coating.

GALVANIZED FASTENERS:
Conform to ASTM A653 designation G185

NAILS: Conform to IBC 2304.10 "Connections and Fasteners"
Unless noted otherwise all nails shall be common. Nails shall be driven flush and shall not fracture the surface of sheathing. Nail sizes specified on the drawings are based on the following specifications:

| Size | Length | Diameter |
|------|--------|----------|
| 6d | 2" | .113" |
| 8d | 2 1/2" | .131" |
| 10d | 3" | .148" |
| 12d | 3 1/4" | .148" |
| 16d | 3 1/2" | .162" |

LAG and MACHINE BOLTS:

Conform to ASTM A307

STUD WALL CONSTRUCTION: Conform to IBC 2304. Unless noted otherwise, studs shall be spaced at 16" OC, exterior studs shall be 2x6, and interior studs shall be 2x4, interior headers shall be 4x8, exterior headers shall be 6x8. Provide two studs minimum at the end of all walls and at each side of all openings. Attach the lower plates of all stud walls to concrete with 5/8" diameter A307 anchor bolts x 7" embedment spaced per plan and shearwall schedule. All anchor bolts to have 1/4"x 3" square galvanized washers. Spacing shall not exceed 48" O.C. Nail together individual members of built up posts with two rows of 16d @ 12" O.C. staggered. Refer to the plans and shearwall schedule for required sheathing and nailing. When not otherwise noted, provide 1/2" gypsum wallboard on interior surfaces.

PRESERVATIVE TREATMENT: Wood materials specified as "pressure treated" shall be "treated wood." "Decay and Termite Protection" shall conform to the appropriate standards of the American Wood-Preservers Association (AWPA) for sawn lumber, glued laminated timber, round poles, wood piles and marine piles. Follow American Lumber Standards Committee (ALSC) quality assurance procedures. Use hot dipped galvanized or stainless steel fasteners and connectors for preservative treated wood products.

ROOF COVERINGS

MINIMUM REQUIREMENTS: Install per manufacturer's written instructions. See also section R905 for additional requirements and flashing requirements.

SHINGLES:

Asphalt shingles shall be fiberglass-reinforced class A shingles with self-sealing strips or interlocking design conforming with ASTM D 225 or D 3462 and installed on slopes between 3:12 and 20:12 fastened over underlayment or ice-protection as indicated below.
FASTENERS: Shingles shall be fastened over underlayment to solid wood deck with 12 gauge galvanized steel roofing nails with 3/8" diameter heads meeting ASTM F 1667 and penetrating the roof sheathing surface at least 3/4". Quantity of fasteners shall be per shingle manufacturer but no less than four per strip or 2 per shingle.

UNDERLAYMENT: 15 lb felt paper or equivalent underlayment shall comply with ASTM D 226 type I or ASTM 4869 type I. Install 36" wide strips perpendicular to roof slope overlapping 2" except provide double layer with 19" overlaps at slopes of 4:12 or less.

ICE PROTECTION: Install of self-adhering polymer modified bitumen sheet, in lieu of underlayment, beginning at roof eaves and extending at least 24" inside the exterior wall line of the building per manufacturer's written instructions.

FLASHING: Install a base, cap, valley, and sidewall flashing per manufacturer's written installation instructions.

METAL ROOF COVERINGS

MINIMUM REQUIREMENTS: Install per manufacturer's written instructions. See also section R905 for additional requirements and flashing requirements.

DECKING: Metal roofing material shall be applied over solid roof sheathing per plan.

MINIMUM SLOPE:
25% for lapped, non-soldered seam without sealant
4% for lapped, non-soldered seams with sealant
2% for standing seam roof systems

MATERIALS: Materials shall be naturally corrosion-resistant or treated to be so per Table R905.10.3(2)

ATTACHMENT: Attach to supports per manufacturer's instruction with galvanized fasteners for steel roofing and 300-series stainless steel for copper and other metal roofing.

FLASHING: Install base, cap, valley, and sidewall flashing per manufacturer's written instructions.

CRICKETS AND SADDLES: Install on uphill side of chimneys and other similar protrusions.

METAL-PLATE-CONNECTED WOOD TRUSSES

Reference IBC Section 2303.4
Trusses shall be designed by a qualified specialty engineer licensed to practice in the governing municipality. The designs shall account for the loads indicated under DESIGN PARAMETERS and any other specialty loads such a drifts, mechanical equipment, and axial drag loads that may be shown on the plans and details. Designs shall account for unbalanced loading, drifting, and wind loads as applicable in combination per the 2018 IBC. At a minimum, the designs shall consider 15 psf uniform dead load. Attic trusses shall be designed with an additional 10 psf uniform dead load on bottom chord. Roof designs shall consider at 10 psf uniform net uplift. The designs shall include all permanent and temporary bracing, and truss-to-truss and truss-to-bearing connections. Calculations and shop drawings stamped by the specialty engineer shall be submitted to the contractor for review. The contractor and specialty engineer are responsible for details and accuracy including specific conformance to these documents. Contractor is responsible to request additional details not shown on these plans if desired. Specialty engineer is not responsible for connections not specifically detailed on this set of plans.

CONCRETE

REFERENCE STANDARDS:
• ACI 318-14 "Building Code Requirements for Concrete"
• IBC Chapter 19

MIX DESIGN:

2500 psi - footings protected from weather
3000 psi - vertical concrete exposed to weather
3500 psi - flat concrete exposed to weather including garage floors
• Strength: 28-day strength - Fc' design strength (psi)
• Maximum Aggregate Size shall be 1"
• W/C: Water/Cement Ratio shall not exceed .48 based on the total weight of cementitious materials
• Air content of concrete exposed to weather shall be 5% measured at point of placement.
• Pozzolans: may be used in accordance with ACI 318-14.
• Chloride content shall conform to ACI 318-14.

CONSTRUCTION JOINTS: See the plan for location and details.

SHRINKAGE: Concrete will shrink after initial placement. The contractor shall coordinate jointing and finishes to provide adequate tolerance for shrinkage.

TESTING FOR CONCRETE STRENGTH:

When required by the building official obtain samples and conduct tests in accordance with ACI 318-14. For each test mold and cure 3 cylinders. Test (1) at 7 days and (2) at 28 days. The strength is satisfactory if the averages of all sets of 3 consecutive tests equal or exceed the specified strength and no individual test falls below the specified strength by more than 500 psi.

REINFORCING STEEL:

Reinforcing Bars - deformed ASTM A615, Grade 60
Smooth Welded Wire Fabric ASTM A185
Deformed Welded Wire Fabric ASTM A497
Bar Supports CRSI MSP-1, Chapter 3
Tie Wire - black annealed 16.5 gauge or heavier

CONCRETE COVER: Conform to 318-14
Concrete cast against earth 3"
Concrete exposed to earth or weather 1-1/2"
Bars in slabs and walls 3/4"

BAR SPLICES: Conform to ACI 318-14 for class "B" splices or 40 bar diameters, whichever is greater.

DESIGN PARAMETERS

LIVE LOADS:
Snow — Pg: 127psf
Snow — Pf: 118 psf - heated
Snow — Pf: 129 psf - non heated
Exposure factor: 1.2
Thermal factor: 1.1 (heated)
1.2 (unheated)

FLOOR LIVE: 40 psf

DEAD LOADS:
Floor Dead: 10 psf
Roof Dead: 15 psf

WIND DESIGN:
Basic wind speed: 110 mph
Exposure: B

SEISMIC DESIGN:
Site classification: D1
Ss: 0.63
S1: 0.25
Importance factor: 1.0
Response modification: 6.5

DEFLECTION LIMITS:
Total load: L/240
Live Roof: L/360
Live Floor: L/480



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WA, 98943
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509-260-0614



ENGINEER OF RECORD
PARCEL ID #
820734

JASON ALLEN
ADDITION
320 MORNING DOVE LN, CLE ELUM, WA

ARCH D (24x36)

DATE: 05/08/24
05/13/24
06/17/24
07/10/24
PURPOSE: V1 REVIEW
V2 REVIEW
TO ENGR'G
MARKUPS

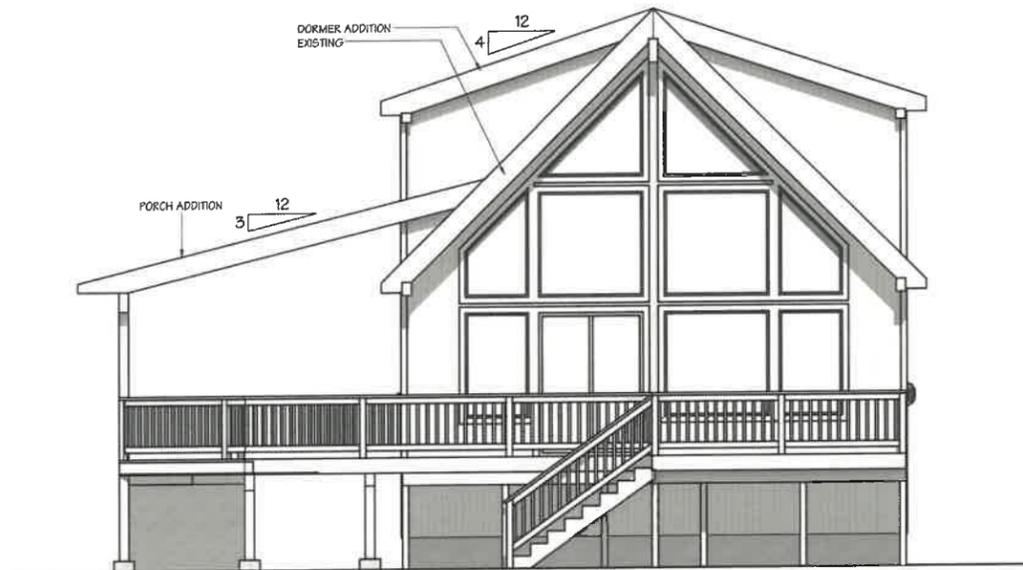


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GENERAL
NOTES

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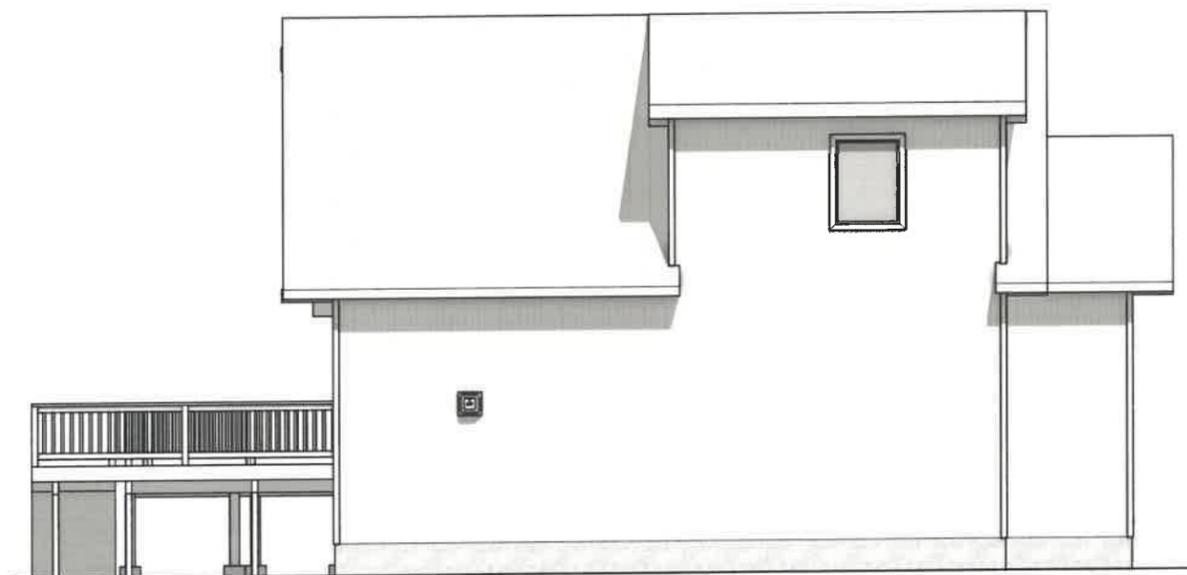
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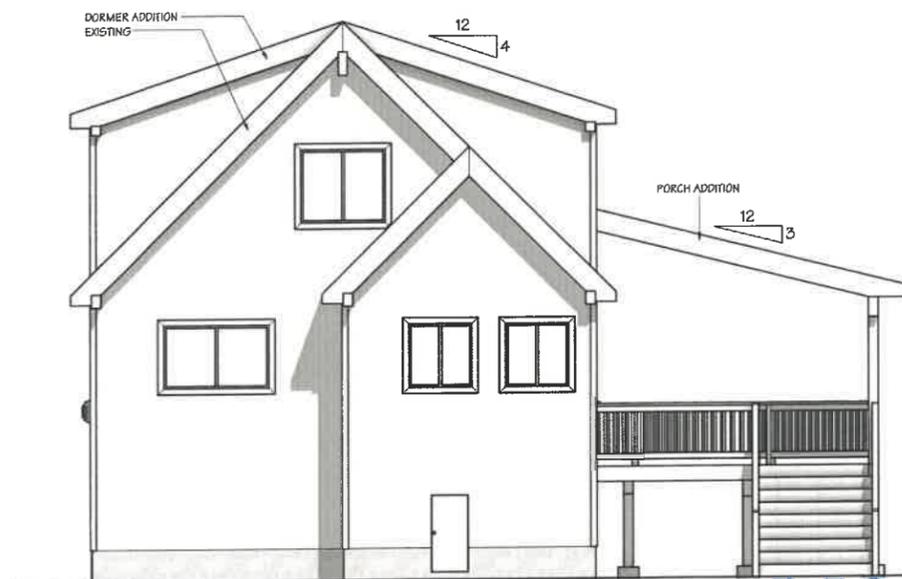
EAST ELEVATION 1/4" = 1'



SOUTH ELEVATION 1/4" = 1'



NORTH ELEVATION 1/4" = 1'



WEST ELEVATION 1/4" = 1'

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PARCEL ID #
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JASON ALLEN
ADDITION
320 MORNING DOVE LN, CLE ELUM, WA

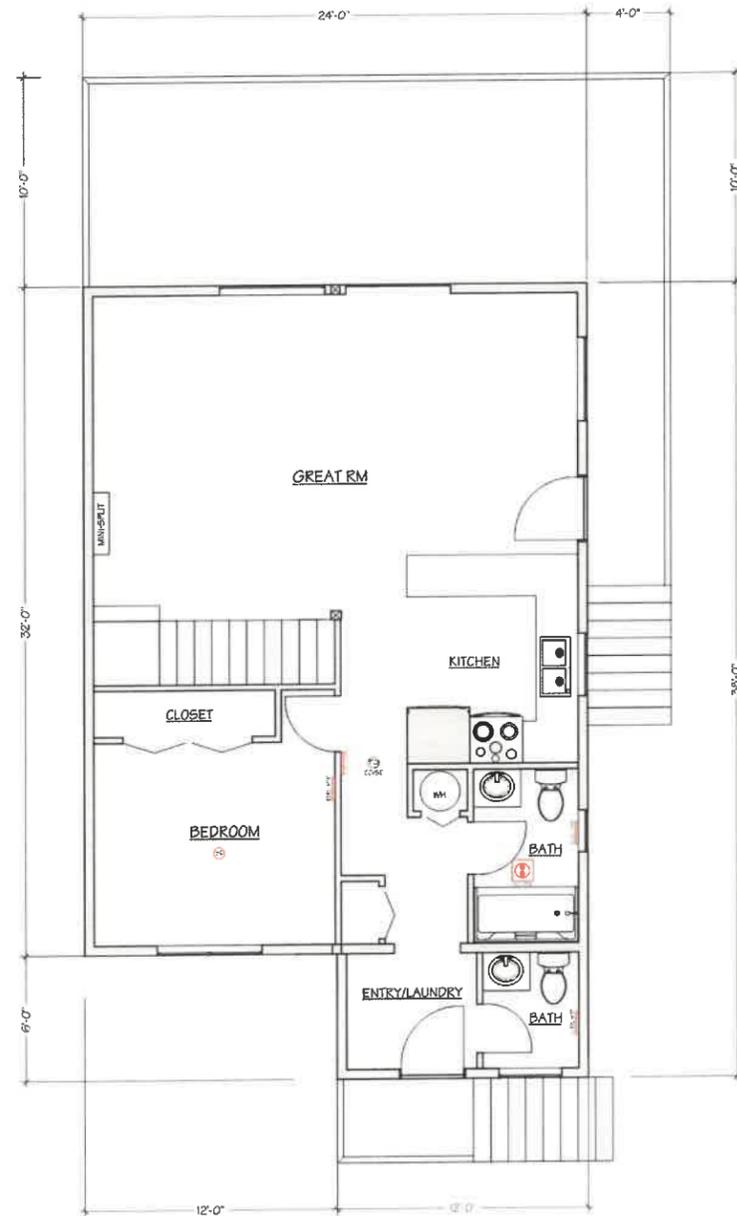
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07/10/24
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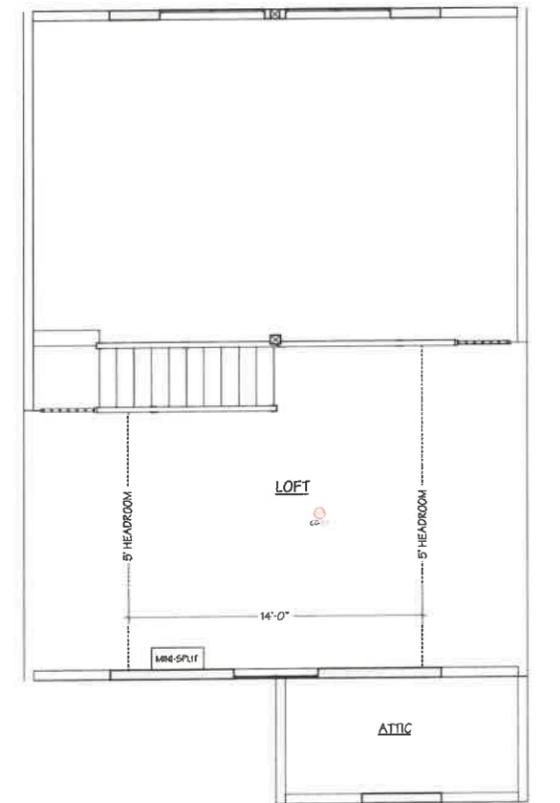
EXISTING
FLOOR PLANS

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A5



MAIN FLOOR PLAN 1/4" = 1'
EXISTING 840 SQ. FT.



SECOND FLOOR PLAN 1/4" = 1'
EXISTING 203 SQ. FT.

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NOTE: THIS IS A REMODEL OF AN EXISTING BUILDING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.

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320 MORNING DOVE LN, CLE ELUM, WA

ARCH D (24x36)
DATE: 05/08/24 PURPOSE: V1 REVIEW
05/13/24 V2 REVIEW
06/17/24 TO ENGR'G
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ROOF FRAMING
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58

GENERAL FRAMING NOTES
-DOUBLE TRIMMERS ON OPENINGS OF 5' OR GREATER
-TYP POSTS 15 G46 DF#2 LND
-TRANSFER ALL PT. LDS FROM POSTS OR DEL. TRIMMERS DOWN TO THE FOUNDATION W/SOLID SQUASH BLKG OR POSTS AS NEC.
-SIMPSON CC TYP @ POST TO BEAM CONNECTIONS (EXCEPT IN WALL), USE ECCL/LR WHERE NEC.
-ALL GLULAM BEAMS GRADE 24F-V4 LND
-ALL GLULAM POSTS GRADE 21F-V3 LND
-H256 @ 24" OC TYP. @ EAVES, RAFTER TO BEAM

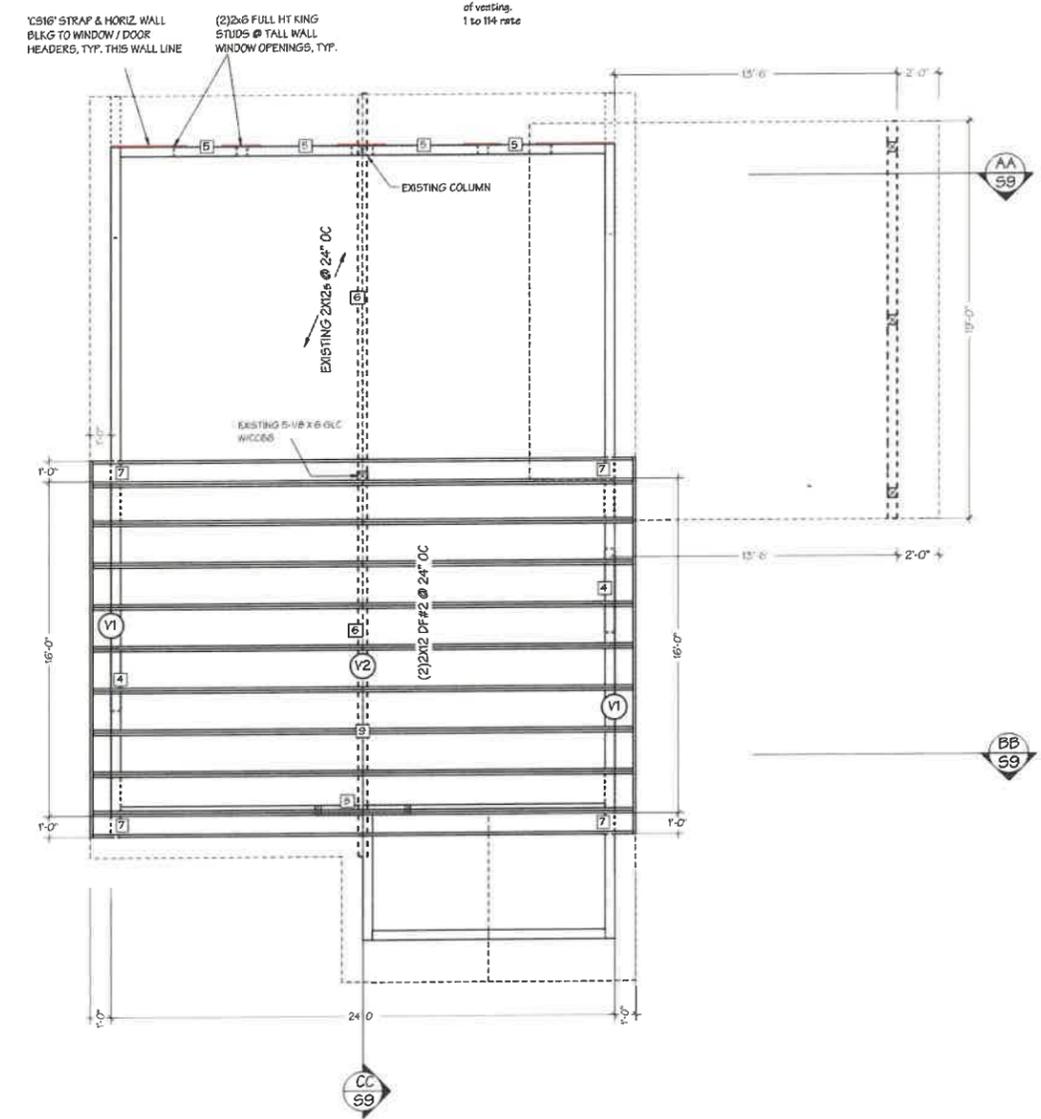
VENTILATION NOTES
V1 (3) 2" DEPTH Y-NOTCHES PER BLOCK, SCREENED
V2 2X BLOCKING HELD DOWN 1", HOLD BACK ROOF SHEATHING 1" EA. SIDE & SCREEN

MIN. ROOF VENTILATION
1 sq ft per 150 sq ft area

exceptions: 1/300 rate shall be permitted, provided that at least 50% but not more than 80% of the ventilation is provided by vent openings located in the upper portion of the roof or attic space, at least 3 feet above the eave or cornice vents

1/300 rate shall be permitted where a vapor retarder having a transmission rate not exceeding 1 perm is installed on the warm-in-winter-side of the ceiling. Roof/ceiling assemblies where the ventilation space above the insulation is less than an average of 12 inches shall be provided with a vapor barrier.

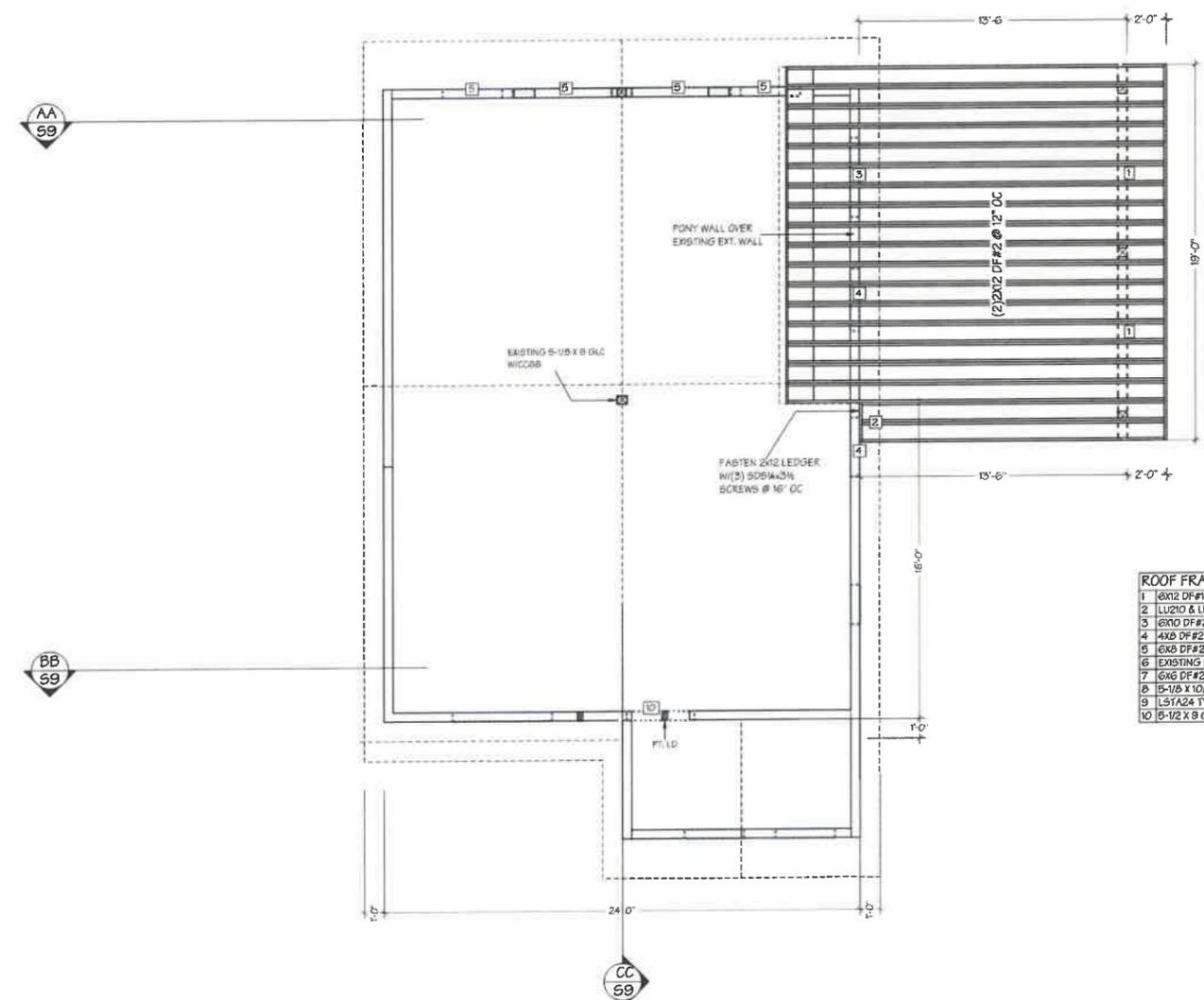
502 sq ft below roof heated area X 144 eq in/300 = 279 sq in required. 32 lineal feet of eave venting and 16 lineal feet of ridge venting provide 485 sq in of venting. 1 to 114 rate



UPPER ROOF FRAMING PLAN 1/4" = 1' N

ROOF FRAMING SCHEDULE

| | |
|----|--------------------------------------|
| 1 | 10x12 DF#1 WCC66 |
| 2 | L1210 & L10210-2 |
| 3 | 6x10 DF#2 |
| 4 | 4x8 DF#2 |
| 5 | 6x8 DF#2 |
| 6 | EXISTING 5-1/8 X 13-1/2 GLB |
| 7 | 6x6 DF#2 OUTRIGGERS W/DBL. BACKSPAN |
| 8 | 5-1/8 X 10 1/2 GLB W/2 TRIMMER STUDS |
| 9 | L5T24 TYP. @ RAFTER PEAKS |
| 10 | 8-1/2 X 8 GLB W/2 TRIMMER STUDS |



LOWER ROOF FRAMING PLAN 1/4" = 1' N

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Index 1

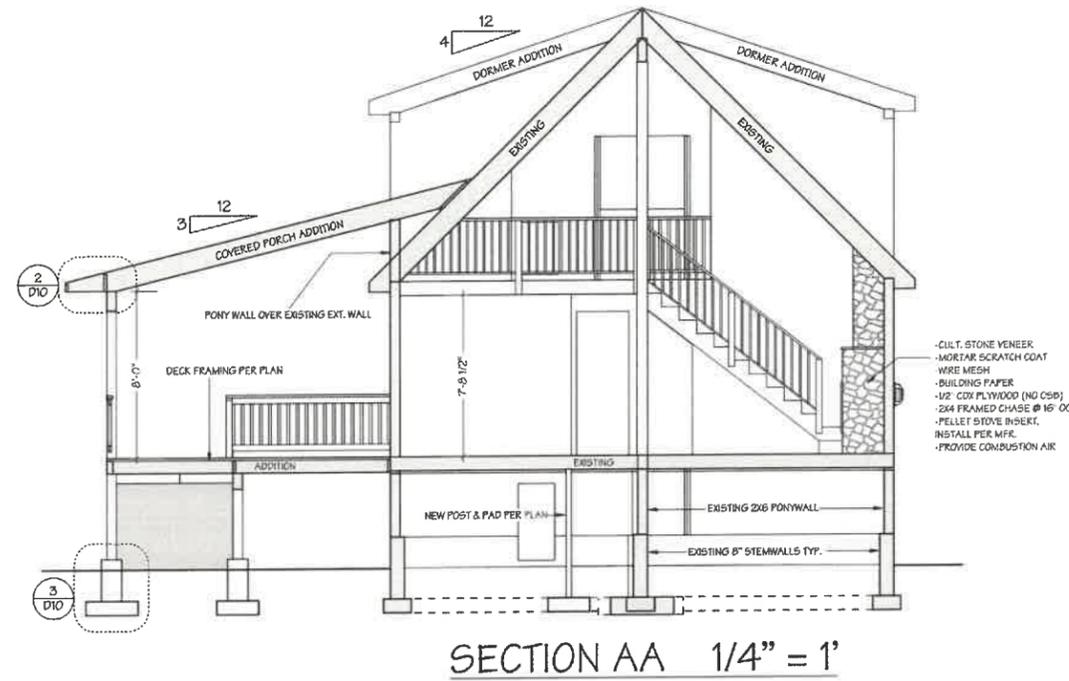


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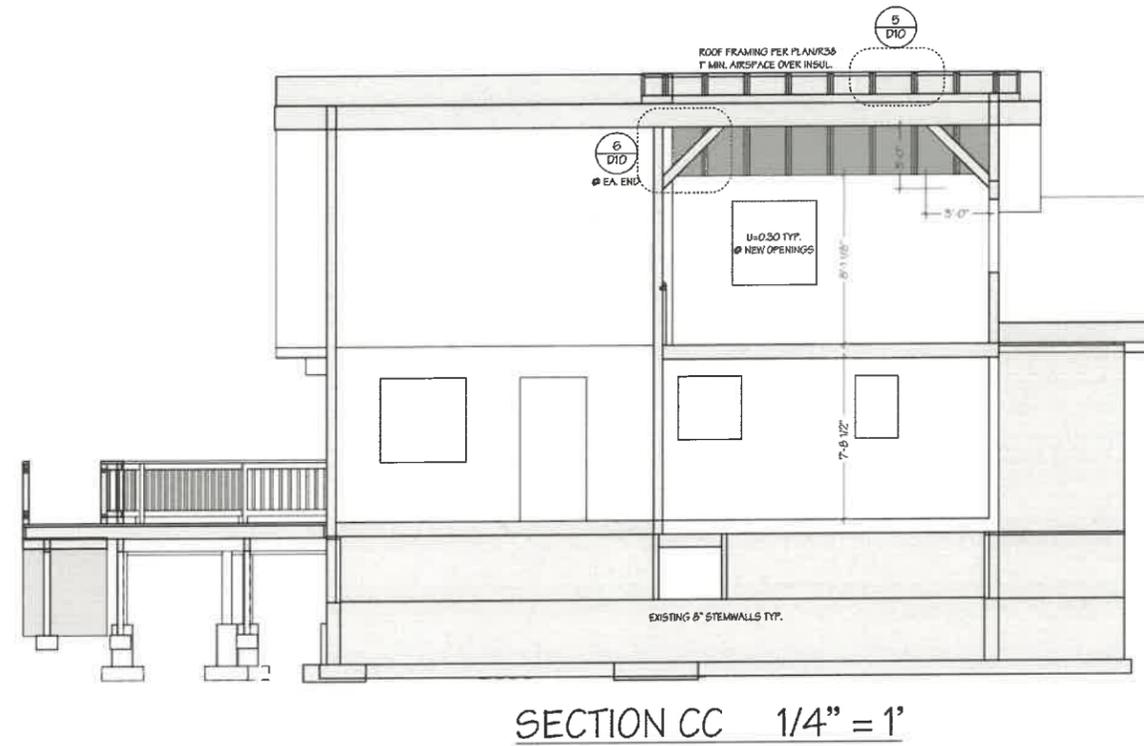


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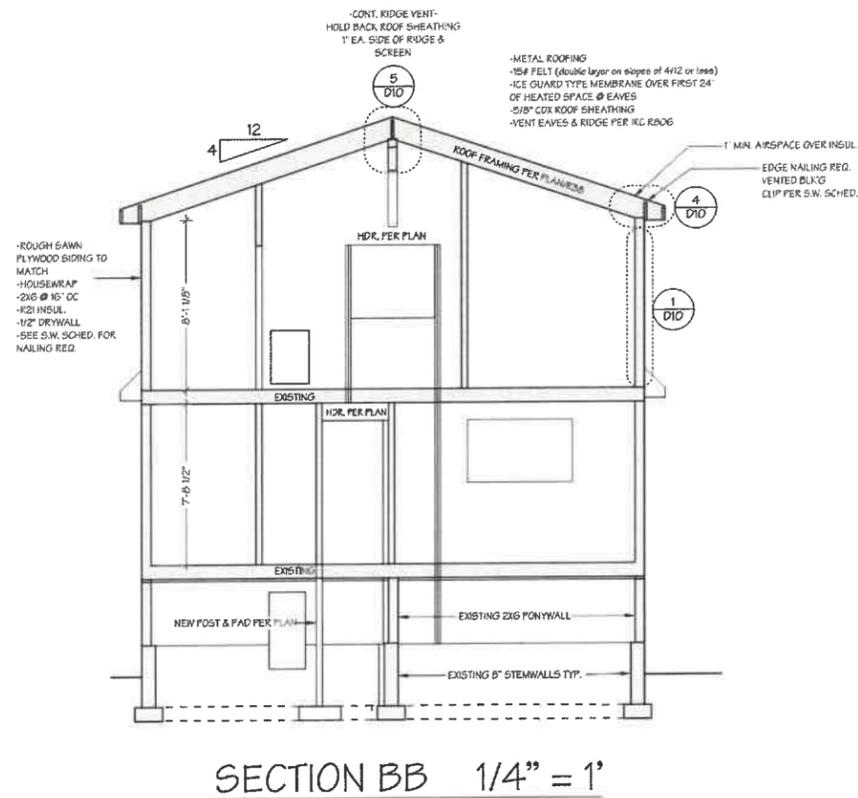
JASON ALLEN
ADDITION
320 MORNING DOVE LN, CLE ELUM, WA



SECTION AA 1/4" = 1'



SECTION CC 1/4" = 1'



SECTION BB 1/4" = 1'

JASON ALLEN



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ARCH D (24x36)

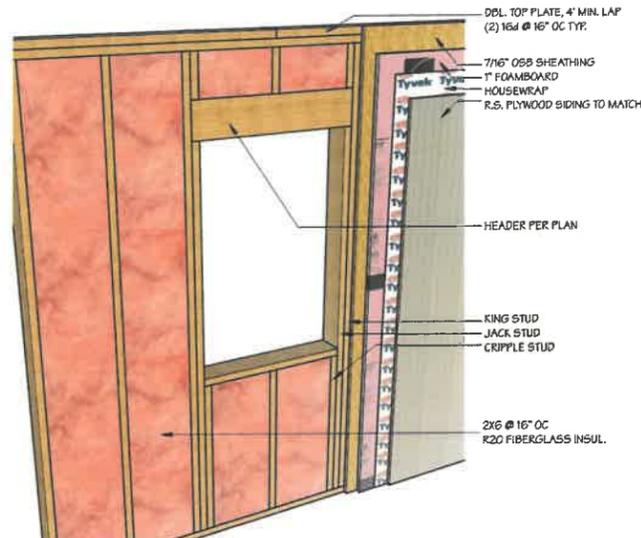
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BUILDING SECTIONS

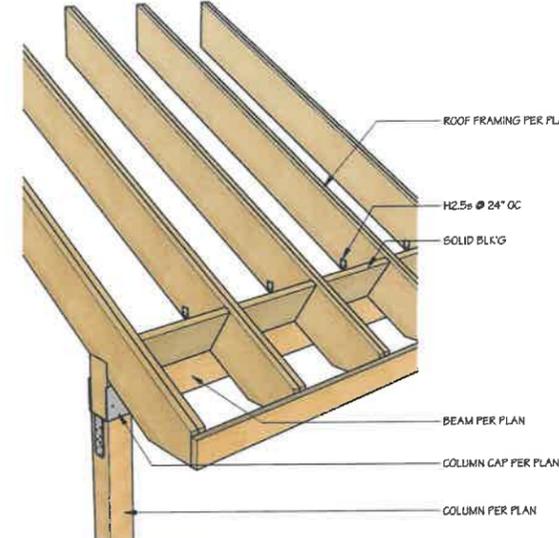
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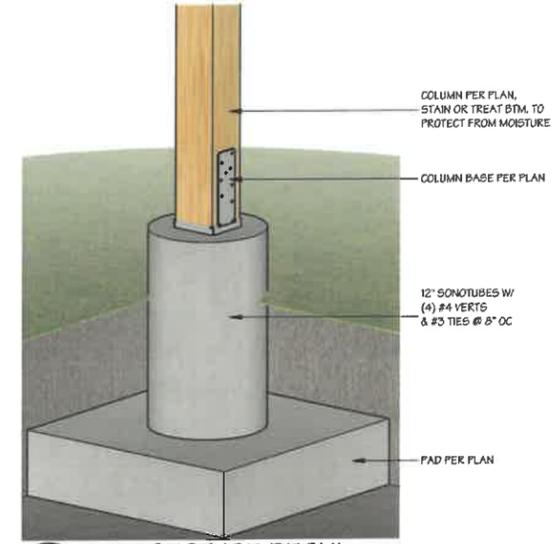
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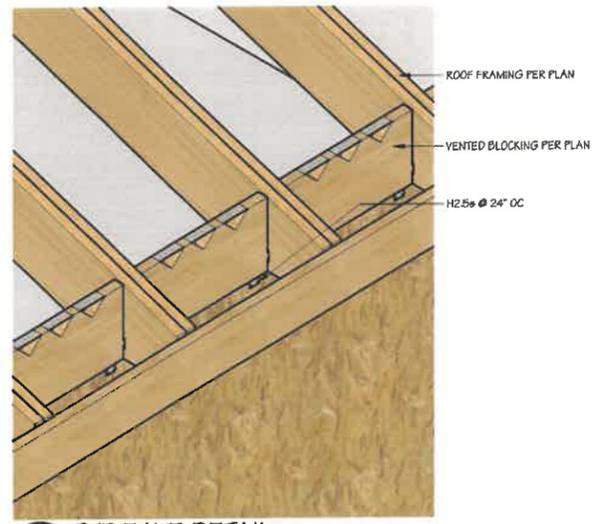
1 TYP. EXTERIOR WALL @ NEW
D10 NOT TO SCALE



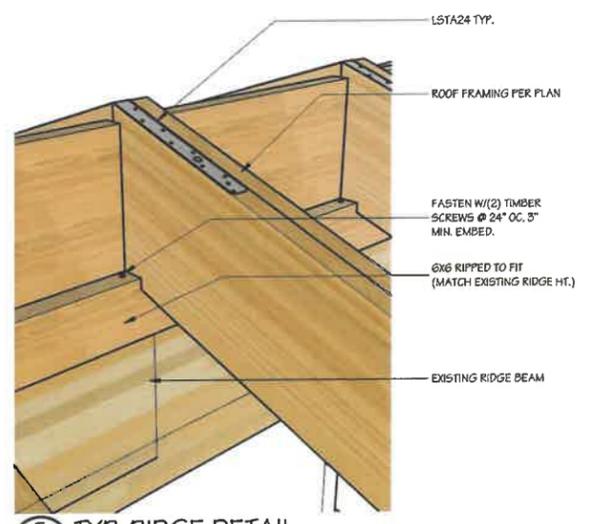
2 TYP. ROOF FRAMING @ PORCH BM.
D10 NOT TO SCALE



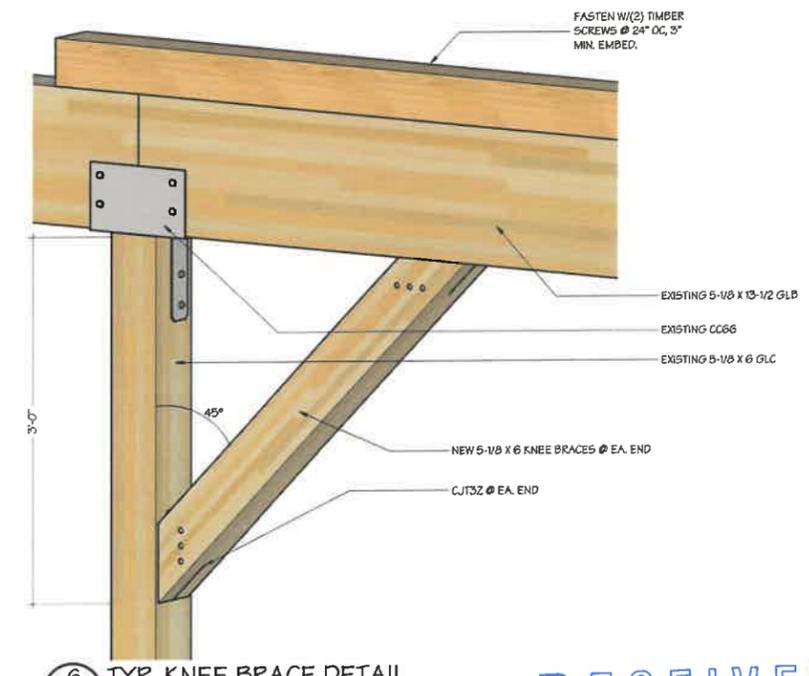
3 TYP. SONOTUBE DETAIL
D10 NOT TO SCALE



4 TYP. EAVE DETAIL
D10 NOT TO SCALE



5 TYP. RIDGE DETAIL
D10 NOT TO SCALE



6 TYP. KNEE BRACE DETAIL
D10 NOT TO SCALE

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KITTTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTTITAS.WA.US

Office (509) 962-7506

"Building Partnerships – Building Communities"

To: Jason Allen**Date:** November 13, 2024**From:** Zach Torrance-Smith, Staff Planner
(509) 962-7079, zach.torrancesmith@co.kittitas.wa.us**Subject:** Allen Remodel/Addition (PM-24-00012)

RECEIVED
FEB 06 2025

Kittitas County CDS

Proposal:

This memo is in regard to the proposed remodel and addition to 320 Morning Dove Lane in Cle Elum, WA; parcel #820734. The parcel is served by one Group A water system. The parcel is served by an individual septic system. This project consists of a remodel of the existing 1043 square foot residence. The main floor will remain 840 square feet. The second floor will have a 145 square foot addition, increasing its size from 203 square feet to 348 square feet. The applicants are pursuing a Shoreline Exemption permit for this project. The deck portion of this project will likely require the completion of a Shoreline Variance application.

Shoreline: The deck addition will require a Shoreline Variance. This process requires a hearing with the Kittitas County Hearings Examiner and the Washington State Department of Ecology will make the final decision regarding approval or denial. A Shoreline Exemption will be required for this project with or without the deck portion.

KCC 17B.07.060:**Variance.**

- a. *General provisions. Variance permits should be granted in circumstances where denial of the permit would result in a thwarting of the policy enumerated in [RCW 90.58.020](#). In all instances the applicant must demonstrate that extraordinary circumstances shall be shown, and the public interest shall suffer no substantial detrimental effect. Variances from the use regulations of the Master Program are prohibited.*
- b. *Review criteria for all variances. Variance permits for uses and/or development that will be located landward of the OHWM and/or landward of any wetland may be authorized provided the applicant can demonstrate all of the following:*
 - i. *That the strict application of the bulk, dimensional or performance standards set forth in the applicable Master Program precludes, or significantly interferes with, reasonable use of the property;*
 - ii. *That the hardship is specifically related to the property, and is the result of unique conditions such as irregular lot shape, size, or natural features and the application of the Master Program, and not, for example, from deed restrictions or the applicant's own actions;*
 - iii. *That the design of the project is compatible with other authorized uses within the area and with uses planned for the area under the comprehensive plan and SMP and will not cause adverse impacts to the shoreline environment;*
 - iv. *That the variance will not constitute a grant of special privilege not enjoyed by the other properties in the area;*
 - v. *That the variance requested is the minimum necessary to afford relief;*
 - vi. *That the public interest will suffer no substantial detrimental effect; and*
 - vii. *That the cumulative impact of additional requests for variances in the area where similar circumstances exist would not produce substantial adverse effects to the shoreline environment.*

KCC 17B.07.040:

Variances: The purpose of a variance permit is strictly limited to granting relief from specific bulk, dimensional or performance standards set forth in the applicable Master Program where there are extraordinary circumstances relating to the physical character or configuration of property such that the strict implementation of the Master Program will impose unnecessary hardships on the applicant or thwart the policies set forth in RCW 90.58.020. When a use or development is proposed that does not comply with the

bulk, dimensional and performance standards of the Master Program, such use or development can only be authorized by approval of a variance.

Zoning

The current zoning is R-5 Rural-5 Zone (KCC 17.30A) and has a land use designation of Rural Residential.

17.30A.040 Lot size required.

The minimum lot size for parcels created after the adoption of the ordinance codified in this chapter shall be:

1. Five (5) acres for lots served by individual wells and septic tanks;
2. One-half (½) acre for lots in a cluster plat. ([Ord. 2013-001](#), 2013; Ord. 2005-05, 2005)

SEPA

A SEPA checklist will not be required for this application, as the amount of earth anticipated to be disturbed will not necessitate SEPA review.

Critical Areas

In preliminary review of the subject property, GIS data indicates the presence of the Yakima River as well as Shoreline Jurisdiction throughout the entirety of the parcel. The Easternmost part of this project therefore includes the Western bank of the Yakima River. The portion of the property on the Yakima River is identified as a wetland, however, shoreline jurisdiction supersedes this designation therefore a Single-Family Wetland Report/Critical Areas Report will not be required for this project.

FPA:

Tree removal is not anticipated to be a component of this project, therefore, a Forest Practices Act application will not be required.

Permitting

Based on the pre application materials provided, a Shoreline Exemption will be required for this project. If the deck expansion component is pursued by the applicants, a Shoreline Variance will also be required for this project.

The Shoreline Exemption application can be located here:

<https://www.co.kittitas.wa.us/uploads/cds/forms/planning/Shoreline%20Exemption%20Permitting.pdf>

The Shoreline Variance application can be located here:

<https://www.co.kittitas.wa.us/uploads/cds/forms/planning/Shoreline%20Permitting.pdf>

Disclaimer:

Kittitas County Community Development Services Department does not guarantee a parcel eligible for development until such time as a complete and accurate application is submitted. Further analysis may be conducted at the time of permit application. Codes are subject to change.



KITTITAS COUNTY FIRE MARSHAL'S OFFICE

411 N. Ruby St., Suite 2, Ellensburg, WA 98926
Fire Marshal (509) 962-7000 Deputy Fire Marshal (509) 962-7657

November 13, 2024

Fire Marshal comments

Allen remodel

PM-24-00012

PLANNER NAME, Zach Torrance-Smith

This application was reviewed by Dan Young in the Fire Marshal's Office. Dan can be reached at (509) 962-7000 or e-mail at Dan.Young@co.Kittitas.wa.us. Where there are difficulties in meeting these conditions or if additional information is required, contact Dan in the Fire Marshal's office immediately.

Building construction occurring subsequent to this application shall be in accordance with the provisions of the county's building and fire codes. Additional specific requirements may be made at the time of building construction as a result of the permit review and approval process.

Fire flow is not required for this application. (Existing structure)

Fire apparatus turnarounds are not required for this application. (Existing structure)

This application is sited in the designated high fire hazard Wildland - Urban Interface zone. Additional setbacks, building construction, access, fire flow and addressing requirements will be applied at the time of building permit application. All structures are required to be at least 30 feet from all property lines. This property is a moderate hazard and must have a 30' defensible space from the structure including decks.

Dan Young
Fire Marshal

These comments are based on the information provided with the pre-application materials. Any revision to the proposal may change the Fire Marshal comments.



KITTITAS COUNTY FIRE MARSHAL'S OFFICE

411 N. Ruby St., Suite 2, Ellensburg, WA 98926
 Fire Marshal (509) 962-7000 Deputy Fire Marshal (509) 962-7657



CHAPTER 2 – DEFINITIONS

DEFENSIBLE SPACE. An area either natural or manmade, where material capable of allowing a fire to spread unchecked has been treated, cleared, or modified to slow the rate and intensity of an advancing wildfire and to create an area for fire suppression operations to occur.

CHAPTER 6 - FIRE PROTECTION REQUIREMENTS

User note:

About this chapter: Chapter 6 establishes minimum fire protection requirements to mitigate the hazards to life and property from fire in the wildland-urban interface. The chapter includes both design-oriented and prescriptive mitigation strategies to reduce the hazards of fire originating within a structure spreading to wildland and fire originating in wildland spreading to structures.

Especially targeted for a systems-approach to fire protection are those new buildings that are deemed to be particularly hazardous under Chapter 5; these buildings are required to be sprinklered. Other hazard mitigation strategies include establishing around structures defensible space zones wherein combustible vegetation and trees are regulated and kept away from buildings and trees are located 10 feet crown-to crown away from each other. Additional hazards that are dealt with in Chapter 6 include spark arresters on chimneys and regulated storage of combustible materials, firewood and LP-gas.

SECTION 601 - GENERAL

601.1 Scope.

The provisions of this chapter establish general requirements for new and existing buildings, structures and premises located within *wildland-urban interface areas*.

601.2 Objective.

The objective of this chapter is to establish minimum requirements to mitigate the risk to life and property from wildland fire exposures, exposures from adjacent structures and to prevent structure fires spreading to wildland fuels.

SECTION 602 - AUTOMATIC SPRINKLER SYSTEMS

602.1 General.

An *approved* automatic sprinkler system shall be installed in all occupancies in new buildings required to meet the requirements for Class 1 ignition-resistant construction in Chapter 5. The installation of the automatic sprinkler systems shall be in accordance with nationally recognized standards.

SECTION 603 - DEFENSIBLE SPACE

603.1 Objective.

Provisions of this section are intended to modify the fuel load in areas adjacent to structures to create a *defensible space*.

603.2 Fuel modification.

Buildings or structures, constructed in compliance with the *conforming defensible space* category of Table 503.1, shall comply with the *fuel modification* distances contained in Table 603.2. For all other purposes the *fuel modification* distance shall be not less than 30 feet (9144 mm) or to the lot line, whichever is less. Distances specified in Table 603.2 shall be measured on a horizontal plane from the perimeter or projection of the building or structure as shown in Figure 603.2. Distances specified in Table 603.2 are allowed to be increased by the code official because of a site-specific analysis based on local conditions and the fire protection plan.

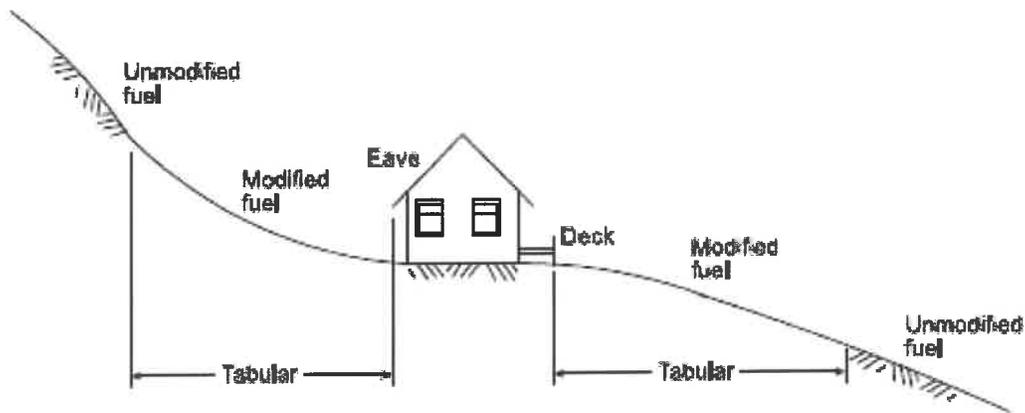
TABLE 603.2 - REQUIRED DEFENSIBLE SPACE

| WILDLAND-URBAN INTERFACE AREA | FUEL MODIFICATION DISTANCE (feet) ^a |
|-------------------------------|--|
| Moderate hazard | 30 |
| High hazard | 50 |
| Extreme hazard | 100 |

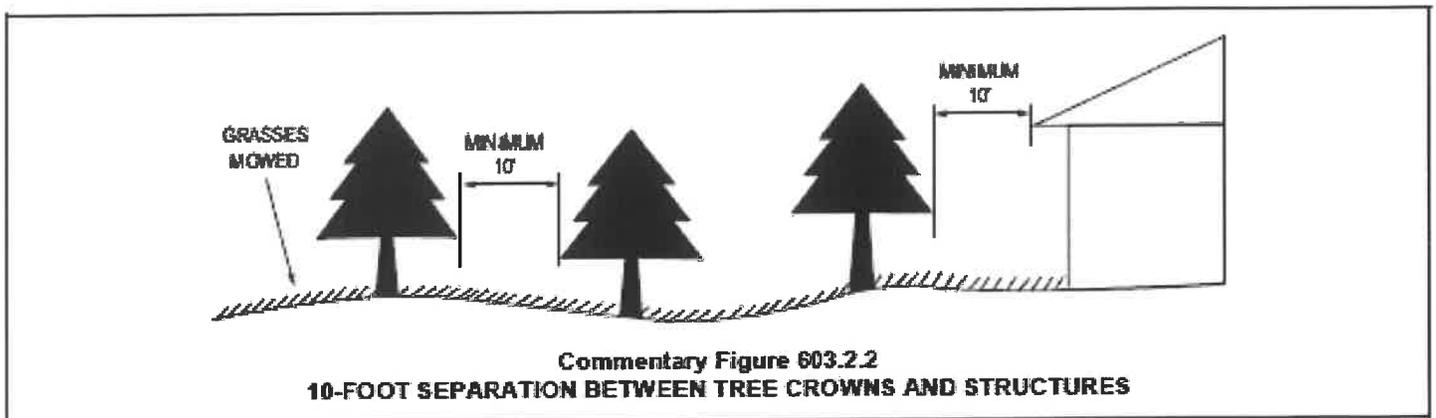
For SI: 1 foot = 304.8 mm.

a. Distances are allowed to be increased due to site-specific analysis based on local conditions and the fire protection plan.

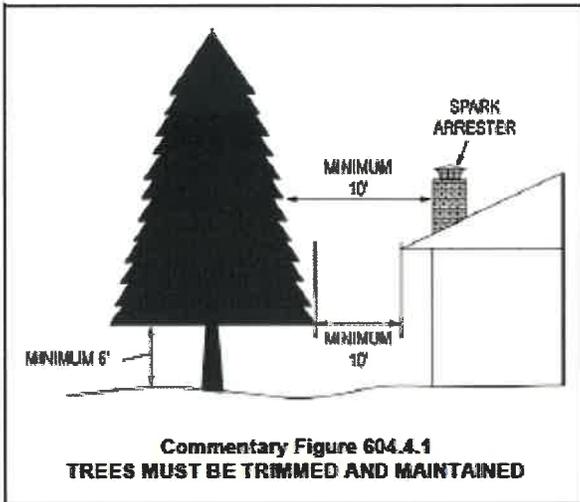
FIGURE 603.2 - MEASUREMENTS OF FUEL MODIFICATION DISTANCE



**FIGURE 603.2
MEASUREMENTS OF FUEL MODIFICATION DISTANCE**



**Commentary Figure 603.2.2
10-FOOT SEPARATION BETWEEN TREE CROWNS AND STRUCTURES**



603.2.1 Responsible party.

Persons owning, leasing, controlling, operating or maintaining buildings or structures requiring defensible spaces are responsible for modifying or removing non-fire-resistive vegetation on the property owned, leased or controlled by said person.

603.2.2 Trees.

Trees are allowed within the *defensible space*, provided that the horizontal distance between crowns of adjacent trees and crowns of trees and structures, overhead electrical facilities or unmodified fuel is not less than 10 feet (3048 mm). See Figure 603.2.2.

603.2.3 Groundcover.

Deadwood and litter shall be regularly removed from trees. Where ornamental vegetative fuels or cultivated ground cover, such as green grass, ivy, succulents or similar plants are used as ground cover, they are allowed to be within the designated *defensible space*, provided that they do not form a means of transmitting fire from the native growth to any structure.

SECTION 604 - MAINTENANCE OF DEFENSIBLE SPACE

604.1 General.

Defensible spaces required by Section 603 shall be maintained in accordance with Section 604.

604.2 Modified area.

Non-fire-resistive vegetation or growth shall be kept clear of buildings or structures, in accordance with Section 603, in such a manner as to provide a clear area for fire suppression operations.

604.3 Responsibility.

Persons owning, leasing, controlling, operating or maintaining buildings or structures are responsible for maintenance of *defensible spaces*. Maintenance of the *defensible space* shall include modifying or removing non-fire-resistive vegetation and keeping leaves, needles and other dead vegetative material regularly removed from roofs of buildings and structures.

604.4 Trees.

Tree crowns extending to within 10 feet (3048 mm) of any structure shall be pruned to maintain a minimum horizontal clearance of 10 feet (3048 mm). Tree crowns within the *defensible space*

shall be pruned to remove limbs located less than 6 feet (1829 mm) above the ground surface adjacent to the trees.

604.4.1 Chimney clearance.

Portions of tree crowns that extend to within 10 feet (3048 mm) of the outlet of a chimney shall be pruned to maintain a minimum horizontal clearance of 10 feet (3048 mm).

604.4.2 Deadwood removed.

Deadwood and litter shall be regularly removed from trees.



To Protect and Promote the Health and the Environment of the People of Kittitas County

November 18th, 2024

Shane Johnson BS, MA
Environmental Health Specialist II
Kittitas County Public Health Department
507 N. Nanum St Suite 102
Ellensburg WA, 98926

PM-24-00012

Dear Jason Allen,

After reviewing the application and attending the in-person meeting for PM-24-00012 Allen, Kittitas County Public Health has no comments pertaining to the project.

Do not hesitate to reach out if there are any questions.

Thank you,

A handwritten signature in blue ink that reads "Shane Johnson".

Shane Johnson BS, MA



From: [Nelson, Jennifer L \(DFW\)](#)
To: [Zach Torrance-Smith](#)
Subject: RE: PM-24-00012 Allen - Request for Comments
Date: Wednesday, November 13, 2024 10:15:45 AM

CAUTION: This email originated from outside the Kittitas County network. Do not click links, open attachments, fulfill requests, or follow guidance unless you recognize the sender and have verified the content is safe.

Thanks Zach,

I just noted that I had completed a site visit with Mr. Allen to identify the OHWM which was essentially the same as top of bank. We flagged it onsite for the surveyors to pick up. While onsite and during today's meeting, I recommended planting native shrubs and smaller trees along the shoreline for bank stabilization and as potential mitigation for additional encroachment into the Shoreline setback area with the deck addition. We'd be happy to work with the County and landowner on specific plant recommendations if desired.

Thanks again for including WDFW in these early conversations,
Jen

Jennifer Nelson
Washington Department of Fish and Wildlife
Habitat Program
Ellensburg, WA 98926
(509) 961-6639 Mobile

From: Zach Torrance-Smith <zach.torrancesmith@co.kittitas.wa.us>
Sent: Wednesday, November 13, 2024 10:10 AM
To: Shane Johnson <shane.johnson@co.kittitas.wa.us>; Jackie Sharp <jackie.sharp@co.kittitas.wa.us>; Christian Preszler <christian.preszler@co.kittitas.wa.us>; Dan Young <dan.young@co.kittitas.wa.us>; Nelson, Jennifer L (DFW) <Jennifer.Nelson@dfw.wa.gov>; Jamey Ayling <jamey.ayling@co.kittitas.wa.us>; Jeremy Larson <jeremy.larson@co.kittitas.wa.us>
Cc: Chace Pedersen <chace.pedersen@co.kittitas.wa.us>; Bradley Gasawski <bradley.gasawski@co.kittitas.wa.us>
Subject: PM-24-00012 Allen - Request for Comments

External Email

Good morning everyone,

Thanks for attending our in-person pre-application meeting this morning (11/13/2024) for the Allen Remodel Project (PM-24-00012). Please have all comments uploaded to the pre-app folder (see link below) or emailed to me by **Thursday, November 21, 2024, at 5pm.**

Pre-App Meeting Folder: [PM-24-00012 Allen](#)

Let me know if you need anything further.

Zach Torrance-Smith

Planner I

Kittitas County Community Development Services

411 N. Ruby St., Suite 2

Ellensburg, WA 98926

P: 509-962-7079

zach.torrancesmith@co.kittitas.wa.us

If this is about a Public Records request, please go to <http://www.co.kittitas.wa.us/request/default.aspx> and fill out a request for public records through the GovQA portal.

The information transmitted by this email is intended only for the person or entity to which it is addressed. This email may contain confidential and/or privileged material. If you are not the intended recipient of this message, be aware that any use, review, retransmission, distribution, or reproduction is strictly prohibited. If you received this in error, please contact the sender immediately and delete the material from all devices.
message id: 38eb45916c6dcbdac24bb8719d004a14



KITTITAS COUNTY
DEPARTMENT OF PUBLIC WORKS

MEMORANDUM

TO: All Staff
FROM: Public Works Pre-Application Team
DATE: November 19, 2024
SUBJECT: PM-24-00012 Allen

| | |
|-----------------------------------|---|
| ACCESS | In review of the site plan, there is no change to the existing access. No additional access requirements at this time. (JS) |
| ENGINEERING | Except as exempted in KCC 14.05.060, no grading or filling upon a site involving more than one hundred (100) cubic yards shall be performed without a grading permit from the County Engineer or Public Works designee (KCC 14.05.050). An application for grading in excess of five hundred (500) cubic yards shall be accompanied by an engineered grading plan (KCC 14.05.080). (CP) |
| TRANSPORTATION CONCURRENCY | No comments. (JS) |
| FLOOD | <p>A floodplain development application is required for the proposed project. Since this is a remodel/addition to an existing structure a substantial improvement worksheet must also be submitted with the application. If the project is a substantial improvement to the post-FIRM structure, the whole structure must meet current KCC 14.08 Flood Damage Prevention standards.</p> <p>A portion of the parcel is within the floodway. The deck must be outside of the floodway boundary, or a no-rise certificate must be provided that shows the encroachment would not cause any increase to the 100-year flood elevation. Prior to construction it is advised to have a surveyor mark the floodway boundary on site to avoid unintentional encroachment. The floodway boundary being marked on site will be required for the final flood inspection. (SC)</p> |
| WATER MITIGATION/ METERING | No comments. (SC) |
| AIRPORT | No comments. (JS) |

Please contact Kittitas County Public Works (509) 962-7523 with any questions.



KITTTAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTTAS.WA.US

Office (509) 962-7506

"Building Partnerships – Building Communities"

TO: Jason Allen**FROM:** Jeremy Larson, Building Official
(509)-962-7559 jeremy.larson@co.kittitas.wa.us**DATE:** November 6, 2024**SUBJECT:** Pre-Application Meeting PM-24-00012, CDS Building Notes.

The following Building Codes and Design Criteria apply to the proposed remodel/ addition to a Single-Family Residence.

1) Building Codes:

Any new construction shall be designed and built per the current Kittitas County adopted codes in KCC 14.04 at the time of individual permit submittal. At this time, we have adopted the 2021 I-Codes with Washington State Amendments.

Ground snow load is 127 PSF (minimum roof live load is 117 PSF for a heated structure).

Engineering is required.

Use wind exposure B.

Seismic zone is D1.

Wind speed is 110 Vult.

2) Permitting:

- a. Building permit review times are currently running 4-6 weeks for first review.
- b. A design criteria for the parcel is included with this memo.
- c. The project would be reviewed under the Residential Building Code (2021 IRC).
- d. Flood-resistant building materials are required below the BFE.
- e. Additions to residential construction less than 150 square feet do not require additional energy credits per the Washington State Energy Code- Residential.

Disclaimer:

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KITTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926
CDS@CO.KITTITAS.WA.US

Office (509) 962-7506

"Building Partnerships--- Building Communities"

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

RECIPIENT: [Redacted]

Date: 8/18/2023

Tax ID: 820734

Site Address: 320 MORNING DOVE LANE, CLE ELUM

2018 IRC Table R301.2(1) (SEE KCC SECTION 14.04.020 FOR FOOTNOTES)

| GROUND SNOW LOAD | WIND SPEED (d) (mph) | SEISMIC DESIGN CATEGORY (f) | WEATHERING (a) | FROST LINE DEPTH (b) | TERMITE (c) | WINTER DESIGN TEMP(e) | ICE BARRIER UNDERLAYMENT REQUIRED(h) | FLOOD HAZARDS (g) | AIR FREEZING INDEX(i) | MEAN ANNUAL TEMP(j) |
|-----------------------|----------------------|-----------------------------|----------------|----------------------|--------------------|-----------------------|--------------------------------------|-------------------|-----------------------|---------------------|
| Min. 30 psf Roof (Pf) | 110 Vult | C, D0 and D1 are present | Severe | 24" | Slight to Moderate | 2F | Yes | | 1,000-2,000 | 50 F |

SNOW LOAD INFORMATION

Elevation: 2042 X ISO 0.062 = Ground Snow Load (PG): 127 psf

Roof Snow Load Formula (PF)= (0.7)(CE)(CT)(I)(PG)

| Exposure Factor (Ce) | Thermal Factor (Ct) | Importance Factor (I) |
|----------------------|---------------------|-----------------------|
| X 1.2 | 1.1 Heated | 1 |
| 1.2 | 1.2 Unheated | 1 |

| Roof Snow Load (Pf) |
|---------------------------------|
| 117 psf For Heated Structures |
| 128 psf For Unheated Structures |

ALSO, See ASCE 7.10 For Other Snow Load Issues

Section 7.4 Pitch Reduction. Do not reduce where snow cannot slide off roof. (Valley, Pitch Breaks,

Section 7.6 Unbalanced Roof Snow Loads.

Section 7.7 Drifts on Lower Roofs/ Decks.

Section 7.9 Sliding Snow ON Lower Roofs/Decks.

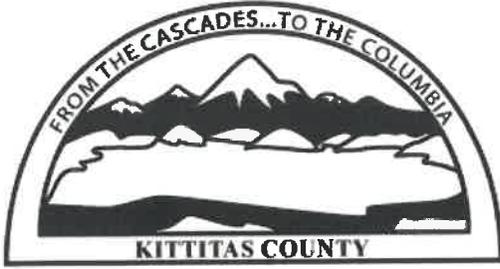
OTHER DESIGN CRITERIA:

| | | |
|---------------|---------------------------------------|----------------------------|
| Building Code | 2018 IBC & 2018 IRC | |
| Wind Speed | 110 MPH | |
| Exposure: | B <input checked="" type="checkbox"/> | C <input type="checkbox"/> |
| | Check One | |

Prescriptive IRC

| | |
|--------------|---|
| Seismic Zone | C <input type="checkbox"/> D0 <input type="checkbox"/> D1 <input checked="" type="checkbox"/> |
| Roof Class: | A <input checked="" type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> |
| Frost Depth: | 24 Inches |
| | Check One |

See 2018 Washington State Energy Code Climate Zone 5 (see <http://www.energy.wsu.edu>)



Kittitas County Community Development Services

411 North Ruby Street Suite #2 | Ellensburg, WA 98926

Phone: (509) 962-7506 | Fax: (509) 962-7682



Kittitas County CDS

Preliminary Site Analysis Report

PSA #: PSA-23-00333

Map #: 20-14-22052-0440

Issue Date: 9/7/2023

Expiration Date: 9/7/2024

Parcel #: 820734

Site address: 320 MORNING DOVE LN CLE
ELUM

Owner: ALLEN, JASON & KATHLEEN H
320 MORNING DOVE LN
CLE ELUM, WA, 98922
JASONCALLEN1@GMAIL.COM

Proposed use: ADD 576 SQ FT APARTMENT (NO RANGE) ABOVE EXISTING GARAGE

Land & Zoning

Lot size: 0.00000000

Land use: Rural Residential

Zoning: Rural 5

- Due to zoning density requirements, only one structure on property can have an installed cooking source (i.e., oven, range, built-in microwave).

Setback: Front: 25

Setback: Side: 15

Setback: Rear: 15

- Site plan must show setbacks from all property lines as well as any identified critical areas to the proposed development or the setbacks from all property lines. Please see above for setbacks for your parcel. These setbacks are the minimum requirement for structure placement in relation to property lines. Please make sure these are marked on the site plan used for building permit submittal. Please note that the definition for Lot Line, Front changed within Kittitas County Code to the following: 17.08.370 "Lot line, front" means a lot line with frontage on any public street, private street, right-of-way or other means of vehicular access, other than an alley. (Ord. 2022-017, Ord. 2019-013, 2019;Res. 83-10, 1983). A parcel may have more than one front lot line.

In a platted development?: Yes

Platted development name: Elk Meadows

- Please see attached recorded survey. Pay close attention to any and all easements, encumbrances, plat notes, etc. that may affect your parcel.

Urban Growth Area?: No

Airport overlay: No

BPA: No

Forest Practices Act: No

Mineral lands: No

Traffic Impact Fee?: No

Park Impact Fee?: No

Districts

Irrigation district: No

School district: Yes

School district name: Cle Elum-Roslyn School District

Critical Areas

| | |
|-------------------------------|--|
| Shoreline: | Yes |
| Shoreline environment: | Shoreline Residential, Aquatic |
| - | <p>Construction from 0-115' of ordinary high water mark (OHWM) requires additional permitting from CDS Planning. Please contact us prior to building permit submittal. Construction from 115'-200' of OHWM requires a shoreline exemption (also required beyond 200' if associated with wetlands or floodway -see attached handout for shoreline jurisdiction). All shoreline exemptions can be found via this link: https://app.leg.wa.gov/WAC/default.aspx?cite=173-27-040</p> <p>If you do not qualify for a shoreline exemption, please contact CDS for additional shoreline permitting requirements. Your shoreline exemption application submittal will also need to include a scaled site plan showing location of all structures, driveways, impervious surfaces, propane tanks, well, septic, fences, etc. and proposed uses and distances from property lines, river, and Horizontal distance from OHWM. (Please see the attached Washington State Department of Ecology handout on how to determine the OHWM). ***Please be aware your project is located in an area of high significance for potential cultural resources. Should ground disturbing or other activities related to the proposed project result in the inadvertent discovery of cultural or archaeological materials, work shall be stopped in the immediate area and contact be made with the Washington State Department of Archaeology and Historic Preservation (DAHP) and the Confederated Tribes of the Colville Reservation. Work shall remain suspended until the findings are assessed and appropriate consultation is conducted. Should human remains be inadvertently discovered, as dictated by Washington State RCW 27.44.055, work shall be immediately halted in the area and contact made with the coroner and local law enforcement in the most expeditious manner possible.***</p> |

| | |
|---|---|
| DNR water: | No |
| Wetlands: | No |
| Hazardous slope: | No |
| Landslide area: | No |
| Priority habitat species: | Yes |
| Species type: | UPPER YAKIMA RIPARIAN AREA |
| Coal mine shaft: | No |
| Channel Migration Zone: | Yes |
| Channel Migration Zone Comments: | Your proposed project may be in a channel migration zone which can pose significant risk to structures. CDS is not requiring a hydrogeological study but does recommend consultation with a qualified engineer prior to construction to clarify and minimize risk to your property. |

Design Criteria

| | |
|--------------------------|--|
| Ground snow load: | 127, Engineering is required |
| - | ENGINEERING TO USE EXPOSURE FACTOR 1.2 FOR SHELTERED AREA USE EXPOSURE "B" FOR SHELTERED AREA. |
| Wind speed: | 110 Vult |
| Seismic zone: | D1 |
| Frost depth: | 24" |

Access

| | |
|--|--|
| Existing permit number: | - |
| Access from: | Private Road |
| - | The existing access will be used to serve this structure |
| Permit requirements: | - |
| Access must be constructed prior to : | N/A |

| | |
|----------------------------|---|
| Road Certification: | Not required |
| Existing Access: | Review of site plan shows existing access is being used and there is no change in use. No further access requirements at this time. |

Flood

| | |
|---------------------|--|
| Floodway: | Yes |
| - | A portion of this property is located within the floodway. The floodway is highly restricted, and any development must demonstrate no rise in the level of the 100-year flood before being permitted. No new or substantially improved residences are allowed within the floodway. The proposed development either needs to be located outside the floodway and a certified survey of the parcel showing the location of the floodway is necessary to establish that the building will not encroach upon the floodway, or the development will require a no-rise certification from a professional engineer. |
| Floodplain: | Yes, 100-Year Floodplain |
| - | The activity proposed on this property is within the 100-year floodplain. All activities within the floodplain require a floodplain development permit. All construction, including structures that are exempt from a building permit, must follow the guidelines within KCC 14.08. Structures may be subject to mandatory flood insurance purchase requirements. For all walled and roofed structures in the 100-year floodplain, elevation certificates are required as part of the floodplain development permitting process. It is the responsibility of the owner or owner's authorized agent to obtain elevation certificates. For residential structures located within the 100-year floodplain, a pre-application meeting is required prior to submitting a residential building permit. |
| Flood zone: | 100 YEAR, FLOODWAY |
| Flood panel: | 53037C0654D |

Comments: Please contact Environmental Health for water and septic requirements.
Phone: (509) 962-7515
Online: Environmental Health Website

Code Enforcement

Existing Code Enforcement: No
- No open code enforcement cases found for this parcel.

Stormwater & Grading

Stormwater Plans required: No
- Kittitas County had adopted the Stormwater Management Manual for Eastern Washington. All new development and redevelopment, unless certain exemptions are met, are required to meet the requirements for: Core Element 1 – Preparation of Stormwater Site Plan Core Element 2 – Construction Stormwater Pollution Prevention Core Element 3 – Source Control of Pollution Core Element 4 – Preservation of Natural Drainage Systems Projects that will create greater than 5,000 square feet of impervious surface need to provide an engineered stormwater plan to Public Works that demonstrates how the project meets the requirements for all the applicable Core Elements, including also: Core Element 5 – Runoff Treatment (if Pollution Generating Impervious Surfaces > 5,000 sq. ft.) Core Element 6 – Flow Control (if Impervious Surfaces > 10,000 sq. ft.) Core Element 7 – Operations and Maintenance (If thresholds for core elements 5 or 6 are met)

Grading Permit comments: A grading permit is required for any filling or excavating prior to beginning work unless certain exemptions are met. For more information visit:
<http://www.co.kittitas.wa.us/public-works/development/grading-permit.aspx>

Fire

Wildland Urban Interface Code: Moderate Hazard- Comply with IR3 Construction Materials Form, build a 30' defensible space or to property line, no mitigations, final inspection required.

Fire district: Yes

Fire district name: Fire District 7 (Cle Elum)

Inspection Required: Yes

Required Defensible Space: 30'

Site Plan

Well/Septic: No

Setbacks? : No

Scale?: Yes

All Structures? : Yes

Critical Areas?: No

Access? : Yes

WUI Defensible Space? : No

Easements?: No

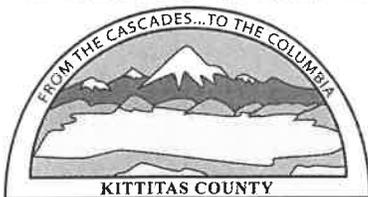
Comments: Please ensure all required elements including any critical areas are expressed on your site plan when applying to build.

Water

Water Mitigation Required: No

OTC Area: Yes
Zone: Green
Water Meter Required: No
Comments: This parcel is connecting to a Group A water system. For questions about the Adequate Water Supply Determination application requirements please call KCPHD at 509-962-7515.

*NOTE: Kittitas County CDS cannot guarantee eligibility for development until a complete and accurate application is submitted. Codes and regulations are subject to change; project applications shall adhere to current codes and regulations at time of permit submittal. **PSA applications expire after 365 days from the application date***



**KITTITAS COUNTY
COMMUNITY DEVELOPMENT SERVICES**

Receipt Number: CD25-00242

411 N. Ruby St., Suite 2
Ellensburg, WA 98926
509-962-7506 / <https://www.co.kittitas.wa.us/cds/>

Payer/Payee: ALLEN, JASON & KATHLEEN H
320 MORNING DOVE LN
CLE ELUM WA 98922

Cashier: JESSIE ROSENOW
Payment Type: CHECK (5175)

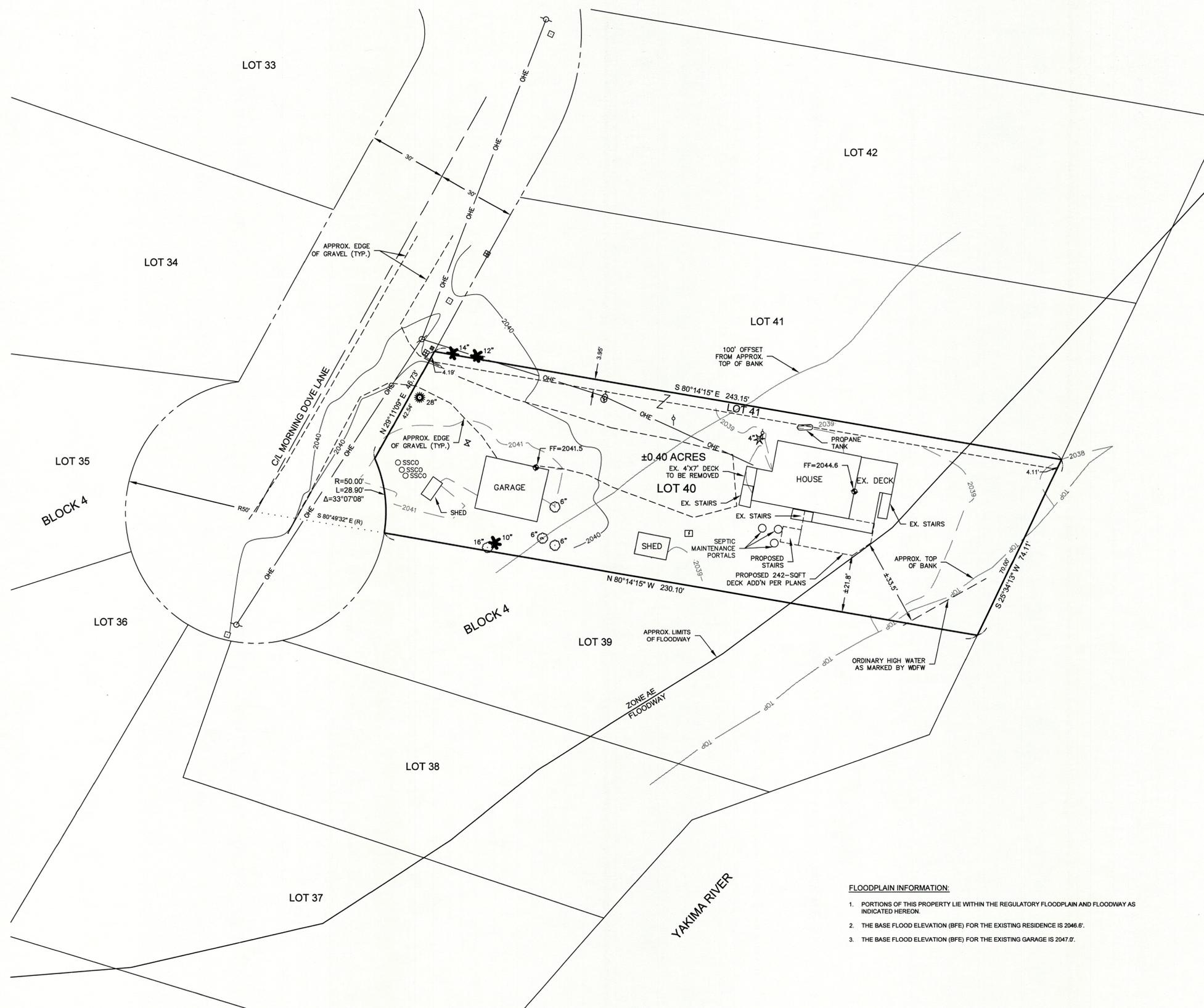
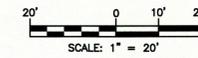
Date: 02/06/2025

SV-25-00001 Shoreline Variance 320 MORNING DOVE LN CLE ELUM

| <u>Fee Description</u> | <u>Fee Amount</u> | <u>Amount Paid</u> | <u>Fee Balance</u> |
|--|-------------------|--------------------|--------------------|
| Public Works Shoreline Substantial Development | \$550.00 | \$550.00 | \$0.00 |
| Shoreline Setback Variance | \$4,000.00 | \$4,000.00 | \$0.00 |
| SV-25-00001 TOTALS: | \$4,550.00 | \$4,550.00 | \$0.00 |
| TOTAL PAID: | | \$4,550.00 | |

320 MORNING DOVE LANE

A PORTION OF THE SE 1/4 OF THE SE 1/4 OF SECTION 22, T. 20 N., R. 14 E., W.M.
KITITITAS COUNTY, STATE OF WASHINGTON



HORIZONTAL DATUM:

THE BASIS OF BEARINGS IS THE WASHINGTON STATE PLANE COORDINATE SYSTEM (SOUTH ZONE), N.A.D. 83 (11). ALL DISTANCES SHOWN HEREON ARE GROUND SCALE BASED ON A COMBINED SCALE FACTOR (CSF) OF 0.99988012667, MULTIPLY CSF BY GROUND DISTANCE TO OBTAIN GRID DISTANCES.

VERTICAL DATUM:

NAVD 88
CONTOUR INTERVAL = 1 FOOT

SURVEY NOTES AND STATEMENT OF TOPOGRAPHIC MAP ELEMENTS (WAC 332-130-145):

- THE PURPOSE OF THIS SURVEY IS TO ILLUSTRATE EXISTING AND PROPOSED FEATURES TO FACILITATE AN APPLICATION FOR A SHORELINE VARIANCE PERMIT ON LOT 40 & THE SOUTH 3.95 FEET OF LOT 41, BLOCK 4 OF THE PLAT OF ELK MEADOWS, BOOK 3 OF PLATS, PAGES 67-71 FOR DESIGN.
 - THIS SURVEY WAS PERFORMED USING A TRIMBLE S7, 3" TOTAL STATION WITH RESULTING ACCURACY THAT MEETS OR EXCEEDS STANDARDS PER WAC 332-130-090.
 - THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THEREFORE, IT DOES NOT PURPORT TO SHOW ALL EASEMENTS, ENCUMBRANCES OR RESTRICTIONS OF RECORD OR OTHERWISE.
 - FOR ADDITIONAL SURVEY AND REFERENCE INFORMATION, SEE THE FOLLOWING:
 - BOOK 3 OF PLATS, PAGES 67-71, AFN: 306104
 - BOOK 5 OF SURVEYS, PAGE 47, AFN: 427432
 - BOOK 31 OF SURVEYS, PAGE 51, AFN: 200504080045
 - BOOK 31 OF SURVEYS, PAGE 164, AFN: 200508160016
 - BOOK 39 OF SURVEYS, PAGE 102, AFN: 201412120024
- AND THE SURVEYS REFERENCED THEREON, RECORDS OF KITITITAS COUNTY, STATE OF WASHINGTON.
- THE CONTOURS SHOWN HEREON ARE BASED ON DIRECT FIELD OBSERVATIONS COMPLETED NOVEMBER 10, 2022.
 - THE ELEVATIONS AND CONTOURS SHOWN HEREON ARE ACCURATE TO ONE-HALF THE CONTOUR INTERVAL.
 - LOCATION OF EXISTING AND OBSERVABLE UTILITIES ARE FROM DIRECT FIELD OBSERVATIONS.
 - AGREED UPON SCOPE OF UTILITY INVESTIGATION BETWEEN THE PROJECT OWNER/AGENT AND SURVEYOR IS TO CAPTURE THE LOCATION OF EXISTING AND OBSERVABLE UTILITIES.

LEGAL DESCRIPTION PER STATUTORY WARRANTY DEED - AUDITOR'S FILE NO. 202107020007:

LOT 40 AND THE SOUTH 3.95 FEET OF LOT 41, BLOCK 4, ELK MEADOWS, IN THE COUNTY OF KITITITAS, STATE OF WASHINGTON, AS PER PLAT THEREOF RECORDED IN BOOK 3 OF PLATS, PAGES 67 THROUGH 71, RECORDS OF SAID COUNTY.

PARCEL INFORMATION:

PARCEL NO. 820734
MAP NO. 20-14-22052-0440

ADDRESS:

320 MORNING DOVE LANE
CLE ELUM, WA 98922

LEGEND

- CEDAR TREE
- FIR TREE
- DECIDUOUS TREE
- ORNAMENTAL TREE
- WATER VALVE
- FROST FREE HYDRANT
- WATER METER
- SEWER CLEANOUT
- POWER METER
- POWER OUTLET
- POWER POLE
- TELEPHONE PEDESTAL
- POST
- ELEVATION MARKER
- FINISH FLOOR
- RADIAL BEARING
- OVERHEAD POWER LINES

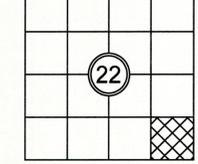
FLOODPLAIN INFORMATION:

- PORTIONS OF THIS PROPERTY LIE WITHIN THE REGULATORY FLOODPLAIN AND FLOODWAY AS INDICATED HEREON.
- THE BASE FLOOD ELEVATION (BFE) FOR THE EXISTING RESIDENCE IS 2046.6'.
- THE BASE FLOOD ELEVATION (BFE) FOR THE EXISTING GARAGE IS 2047.7'.

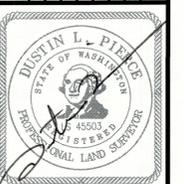


INDEX LOCATION

SEC. 22 T. 20 N. R. 14 E. W.M.



| REVISIONS | DESCRIPTION | BY | DATE |
|-----------|-------------|----|------|
| | | | |
| | | | |
| | | | |
| | | | |



2/6/2025

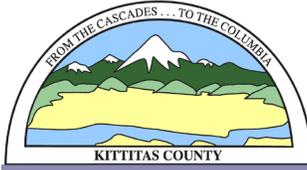
JASON ALLEN
SITE PLAN

Encompass
ENGINEERING & SURVEYING

Western Washington Division
165 NE Juniper Street, Suite 201 • Issaquah, WA 98027 • Phone: (425) 392-0250
407 Southwater Blvd. • Cle Elum, WA 98922 • Phone: (509) 674-7433

| | |
|----------|-------------|
| JOB NO. | 22123 |
| DATE | 02/2025 |
| SCALE | 1"=20' |
| DESIGNED | N/A |
| DRAWN | D.L.P./G.W. |
| CHECKED | D.L.P. |
| APPROVED | D.L.P. |

SHEET 1 of 1



KITTTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTTITAS.WA.US

Office (509) 962-7506

Fax (509) 962-7682

"Building Partnerships – Building Communities"

February 25, 2025

Jason Allen
822 NW 107th Street
Seattle, WA 98177

Encompass Engineering & Surveying
c/o: Monica Tappel
110 South Oakes Ave. #250
Cle Elum, WA 98922

RE: Allen Shoreline Variance Application (SV-25-00001)

Dear Applicant,

Community Development Services (CDS) received your application for a shoreline variance on February 6, 2025. CDS has reviewed your submitted materials and has determined that the application submittal packet is complete as of February 25, 2025.

Continued processing of your application will include, but is not limited to, the following actions:

1. Specific Project Notice of Application will be published in the newspaper of record and sent to all adjoining property owners, governmental agencies, and interested persons.
2. Consideration of written comments from all adjoining property owners, governmental agencies, and interested persons.

You may pick up the "Land Use Action" sign at any time to be posted at the frontage road and return the signed affidavit of posting to my attention. After this has been completed I will be able to issue the Notice of Application. The Notice of Application cannot commence until the Land Use Action sign has been posted along the access at the front of your property and the affidavit of posting has been returned, either physically or electronically.

If you have any questions regarding this matter, I can be reached at (509) 962-7079, or by email at zach.torrancesmith@co.kittitas.wa.us.

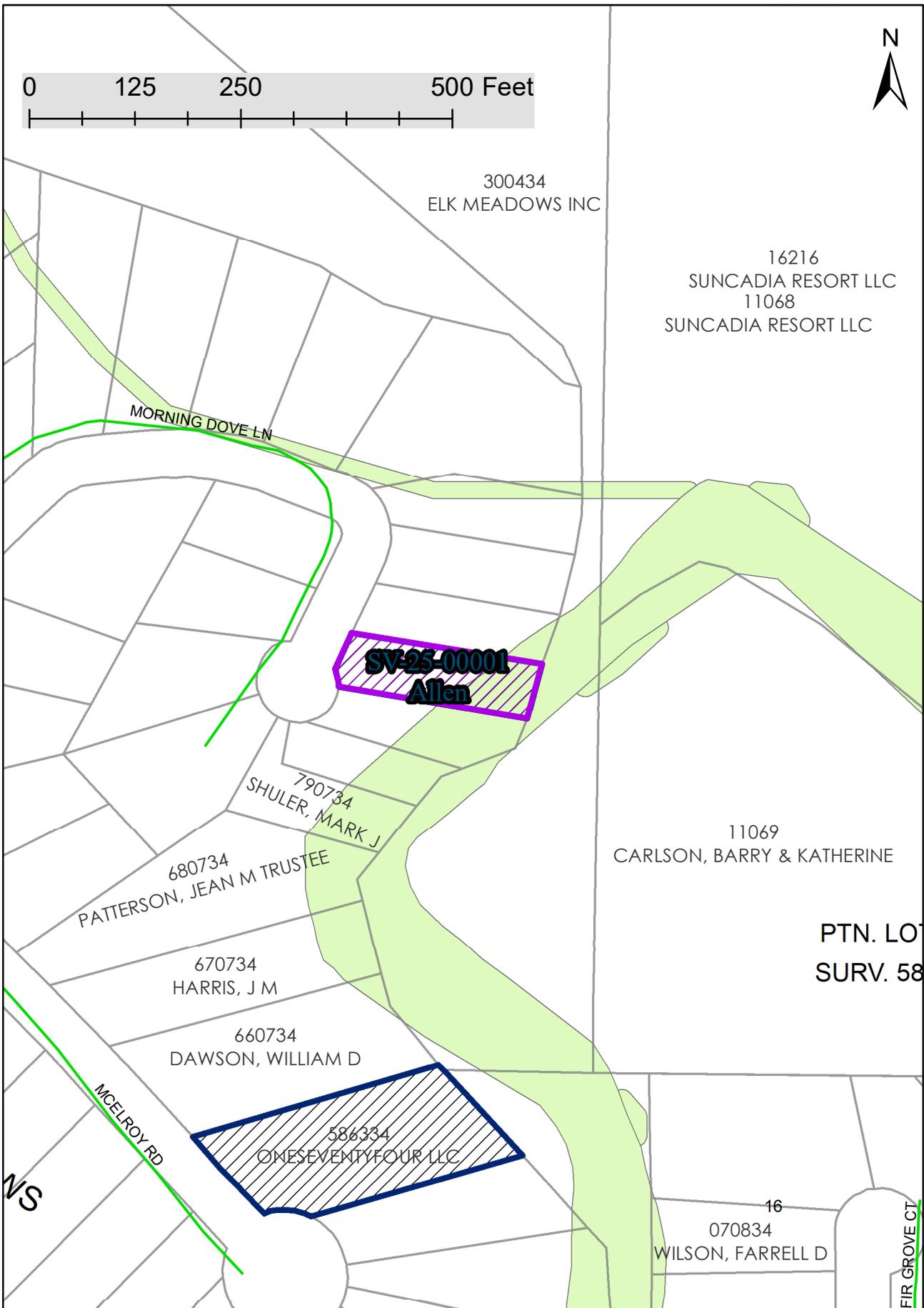
Thank you,

Zach Torrance-Smith
Planner I
Kittitas County Community Development Services
411 N Ruby Street, Suite 2 Ellensburg, WA 98926
(p) 509-962-7079
zach.torrancesmith@co.kittitas.wa.us



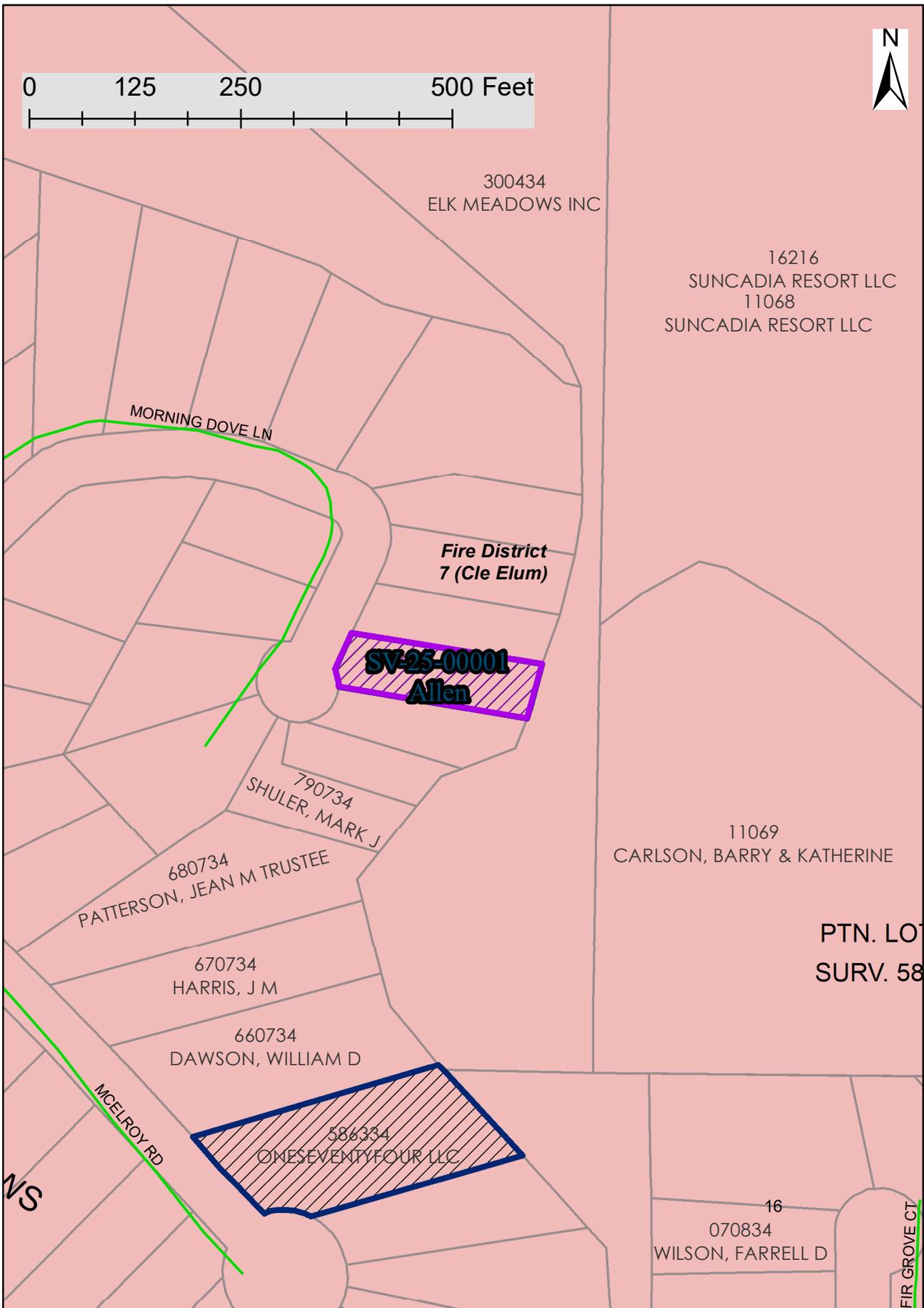
SV-25-00001 Allen

Aerial View Map



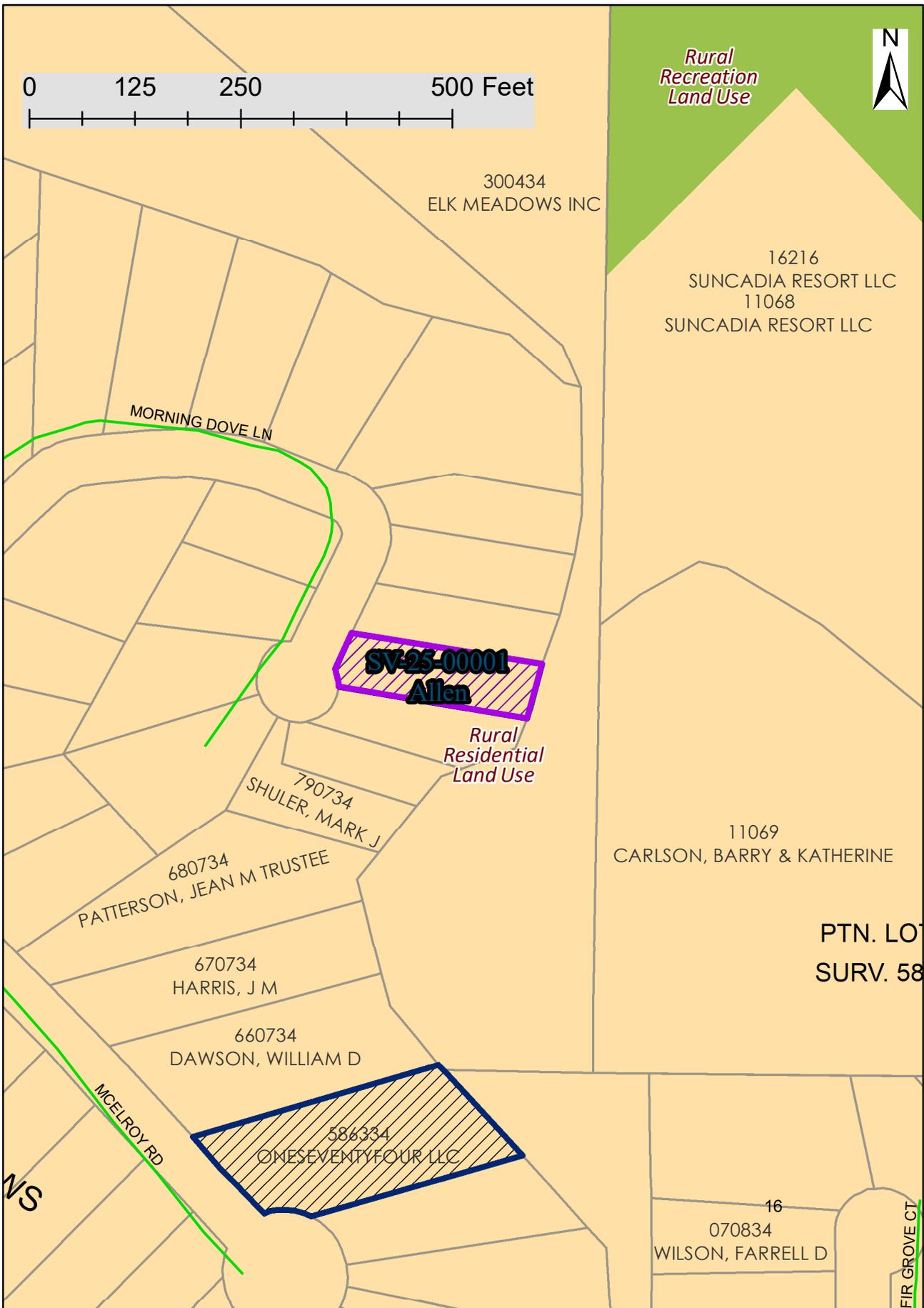
SV-25-00001 Allen

Critical Areas Map



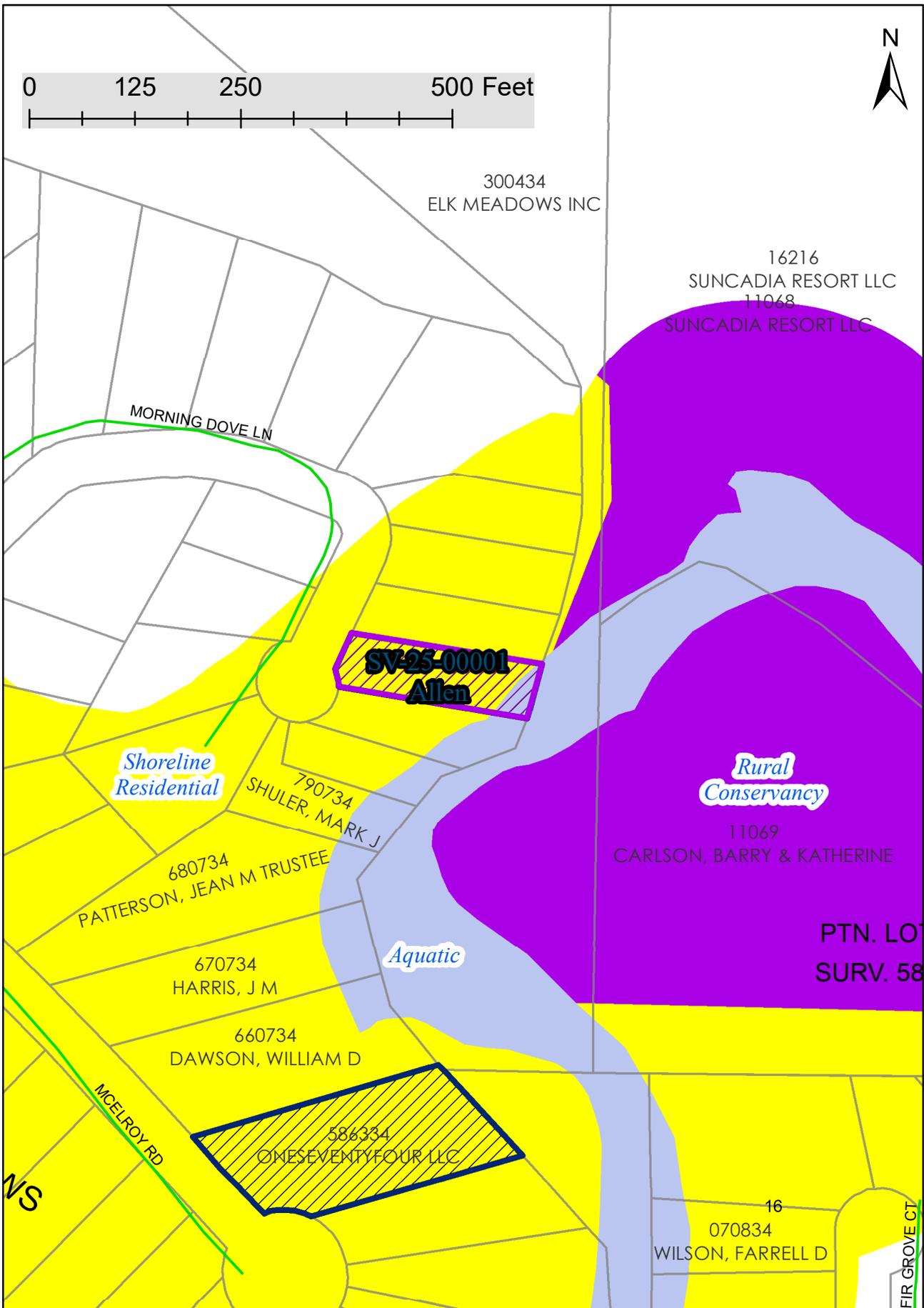
SV-25-00001 Allen

Fire District Map



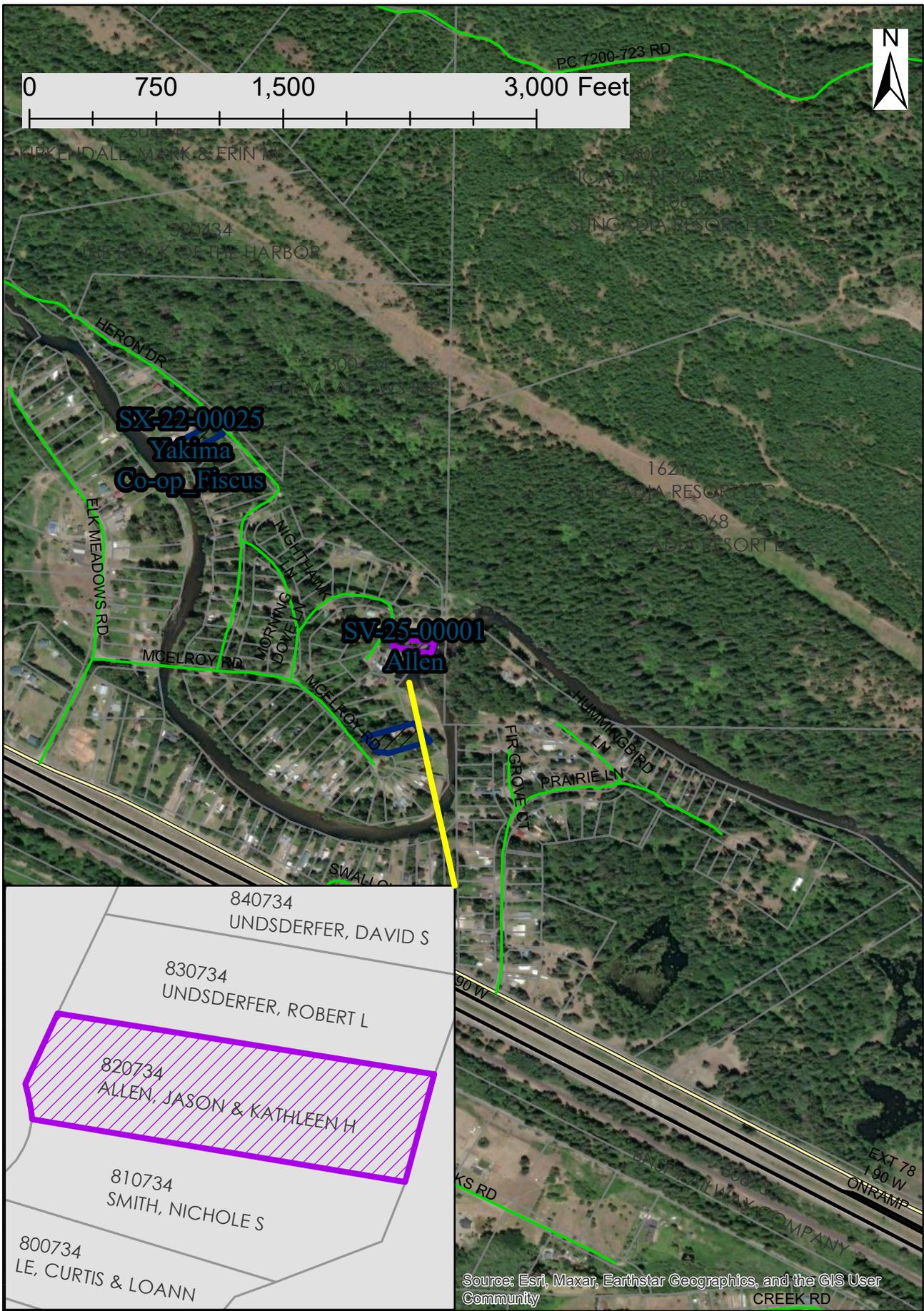
SV-25-00001 Allen

Land Use Map



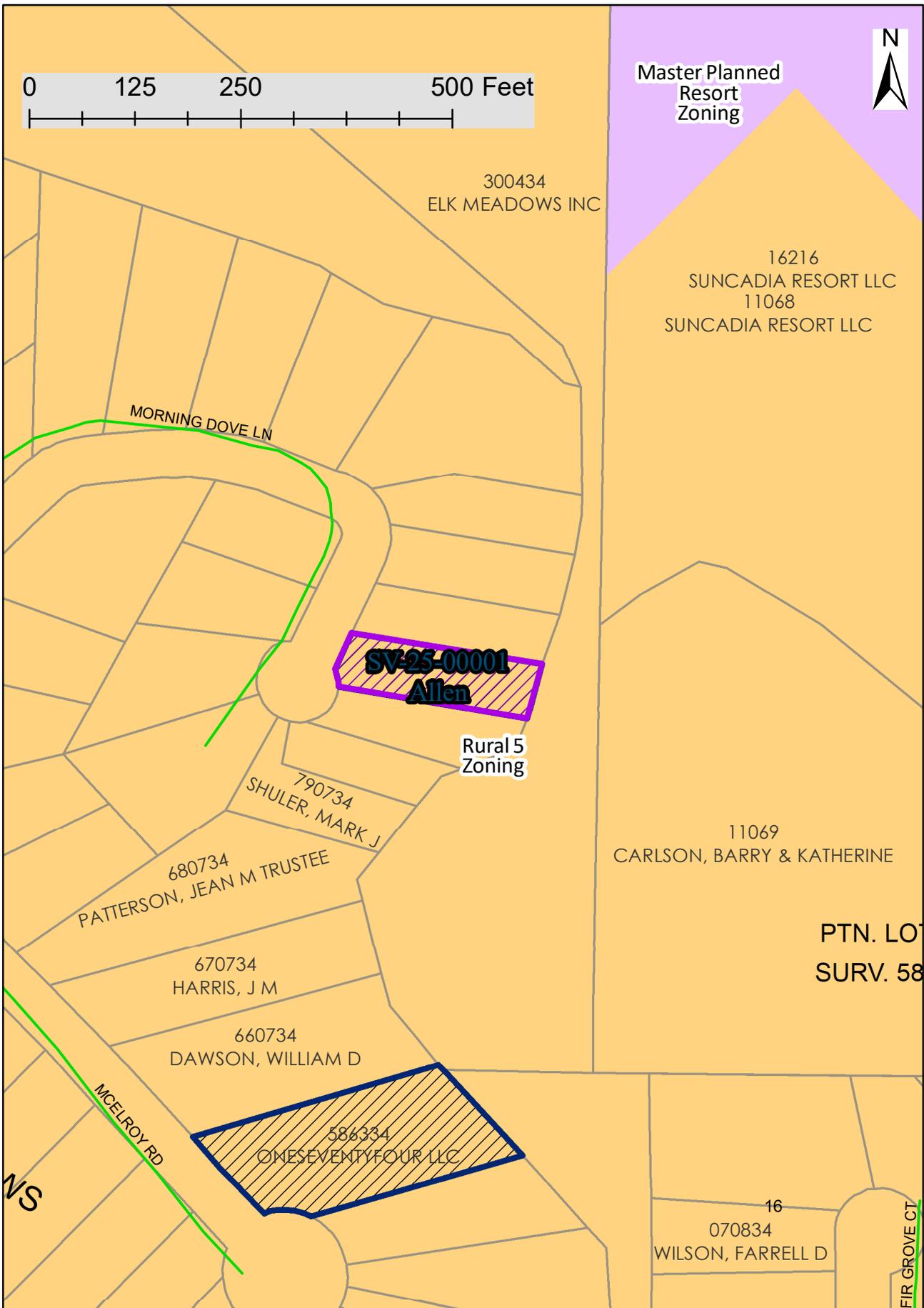
SV-25-00001 Allen

Shoreline Map



SV-25-00001 Allen

Vicinity View Map



SV-25-00001 Allen

Zoning Map



KITTTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTTITAS.WA.US

Office (509) 962-7506

"Building Partnerships – Building Communities"

Affidavit of Mailing & Publication

PROPOSAL NAME: (SV-25-00001) Allen

NOTIFICATION OF: Notice of Application

NOTIFICATION MAIL DATE: February 28, 2025

I certify that the following documentation:

- Notice of Application for Allen Shoreline Variance

has been mailed and/or emailed to the attached list of persons and participants, and that proper notification (as attached) has been published in the Legal Newspaper(s) of Record for Kittitas County.



Signature

Zach Torrance-Smith
Planner I
County of Kittitas
State of Washington



KITTTAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTTAS.WA.US

Office (509) 962-7506

Fax (509) 962-7682

"Building Partnerships – Building Communities"

AFFIDAVIT OF POSTING

Effective July 19, 2007, Kittitas County Code requires all project actions that are not processed administratively to have a notice posted at the site of the project. Per KCC 15A.03.110 the following applies:

1. The applicant shall post the subject property with signs as required by Community Development Services.
2. Signs shall be posted on each road frontage on the subject property and shall be clearly visible and accessible.
3. Signs shall be posted and on-site prior to the issuance of a Notice of Application.
4. The sign shall be posted in a sturdy manner to remain on-site until fifteen days after the expiration of the Notice of Decision appeal period. It shall be the responsibility of the applicant to properly dispose of the sign.
5. At the time of development application, Community Development Services will identify the number of signs needed and the general location of each sign on the subject property.
6. It shall be the responsibility of the applicant to place the structure on which the sign will be posted on site. At such time the structure and sign is in place, the applicant shall contact Community Development Services.

| | |
|---------------------|------------------------------|
| DATE: 2/25/2025 | PLANNER: Zach Torrance-Smith |
| PROJECT NAME: Allen | FILE NUMBER: SV-25-00001 |

PLEASE COMPLETE THE FOLLOWING:

I, **Jason Allen**, certify that I am the landowner and/or authorized agent responsible for the posting of this land use project site and further certify that the site has been posted as required by Kittitas County Code. I understand that the required posting period begins immediately and ends 15 days after the ending of the appeal period on the Notice of Decision and the sign(s) will be posted at the site until this time. **Failure to post the site and return this form to Community Development Services in a timely manner will result in a delay of the application review for the project.**


Signature

2/28/25
Date

Please return the above certification to CDS; Fax at 509-962-7682; or mail to; Community Development Services, 411 North Ruby Street, Suite 2, Ellensburg, WA 98926.

For Staff Use Only:
Received _____

LAND USE ACTION

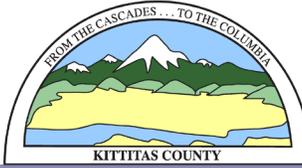
Project: SV-25-00001 ALLEN

Description: A minor deck addition to an existing single family residence. The net addition to the deck will be 179 ft². A 5x6 deck 63 ft² in size will be removed. This project also includes an interior remodel of the home, with no increase to the existing footprint.

Interested parties may obtain project information from Community Development Services, 411 N. Ruby St., Ellensburg, WA or at www.co.kittitas.wa.us/cds

KITTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

(509) 962-7506



KITTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTITAS.WA.US

Office (509) 962-7506

“Building Partnerships – Building Communities”

NOTICE OF APPLICATION

Notice of Application: February 28, 2025
Application Received: February 6, 2025
Application Complete: February 25, 2025

Project File Number: SV-25-00001

Project Name: Allen Shoreline Variance

Applicant: Jason Allen

Location: 320 Morning Dove Lane, Cle Elum, WA 98922. In a portion of the SE ¼ of Sec. 22, T. 20 N., R. 14 E., WM in Kittitas County, WA; Parcel number 820734.

Proposal: Applicant is proposing a minor deck addition to an existing Single-Family Residence. The net addition to the deck will be 179 sq. ft. A smaller 63 sq. ft. deck will be removed. The project also includes a remodel to the interior of the home, with no increase to the existing footprint.

Materials Available for Review: The submitted application and related filed documents may be examined by the public at the Kittitas County Community Development Services (CDS) office at 411 N. Ruby St., Suite 2, Ellensburg, Washington, 98926, or on the CDS website at <https://www.co.kittitas.wa.us/cds/land-use/default.aspx> then navigate to “Shoreline Variances” & “SV-25-00001 Allen”. Phone: (509) 962-7506

Written Comments on this proposal can be submitted to CDS any time prior to 5:00 p.m. on **April 1, 2025**. All comments will be considered in the decision-making process, and any person has the right to comment on this application and receive notification of the decision, once made. Per KCC 17B.070.080 any person aggrieved by the granting, denying, or rescinding of a permit on shorelines of the state may seek review from the shorelines hearings board by filing a petition for review within twenty-one (21) days of the date of filing of the decision, pursuant to RCW 90.58.180.(Ord. 2016-006, 2016)

Required Permits: Shoreline Variance, Building Permit

The following development regulations will be used for project mitigation and consistency: Shoreline Master Program, Kittitas County Critical Areas Ordinance Title 17A, and Kittitas County Shorelines Title 17B.

Designated Permit Coordinator: Zach Torrance-Smith, Staff Planner: (509) 962-7079; email at zach.torrancesmith@co.kittitas.wa.us

NOTICE OF APPLICATION

Project Name (File Number): Allen Shoreline Variance (SV-25-00001)

Applicant: Jason Allen

Location: 320 Morning Dove Lane, Cle Elum, WA 98922. In a portion of the SE ¼ of Sec. 22, T. 20 N., R. 14 E., WM in Kittitas County, WA; Parcel #820734.

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Phone: (509) 962-7506

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Designated Permit Coordinator: Zach Torrance-Smith, Staff Planner: (509) 962-7079; email at zach.torrancesmith@co.kittitas.wa.us

| | |
|------------------------|-------------------|
| Notice of Application: | February 28, 2025 |
| Application Received: | February 6, 2025 |
| Application Complete: | February 25, 2025 |

| | |
|-----------------------|---------------|
| Publish Daily Record: | March 4, 2025 |
|-----------------------|---------------|

AFFIDAVIT OF PUBLICATION

State of Washington, County of Kittitas, ss: The undersigned being first duly sworn on oath, deposes and says: That he/she is the representative of The Daily Record, a daily newspaper. That said newspaper is a legal newspaper and has been approved as a legal newspaper by order of the superior court in the County in which it is published and it is now and has been for more than six months prior to the date of the publications hereinafter referred to, published in the English language continually as a newspaper in Ellensburg, Kittitas County, Washington, and it is now and during all of said time printed in an true copy of

KC COMMUNITY DEVELOPMENT SERVICES
NOA: Allen Shoreline Vari (SV-25-00001)

is published in regular issues (and not in supplement form) of said newspaper once a week for a period of 1 consecutive week(s), commencing on the following days.

03/04/25

All dates inclusive and that such newspaper were regularly distributed to its subscribers during all of said period. That the full amount of the fee charged for the foregoing publication is the sum of \$152.24 the rate of \$13.75 per column inch for each insertion.

Subscribed to me this date: 02/28/25

Printed Name
Notary Public in and for
The State of Washington
(SEAL)

Signed Name

NOTICE OF APPLICATION

Project Name (File Number): Allen Shoreline Variance (SV-25-00001)

Applicant: Jason Allen

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Phone: (509) 962-7506

Written Comments on this proposal can be submitted to CDS any time prior to **5:00 p.m. on April 1, 2025**. All comments will be considered in the decision-making process, and any person has the right to comment on this application and receive notification of the decision, once made. Per KCC 17B.070.080 any person aggrieved by the granting, denying, or rescinding of a permit on shorelines of the state may seek review from the shorelines hearings board by filing a petition for review within twenty-one (21) days of the date of filing of the decision, pursuant to RCW 90.58.180.(Ord. 2016-006, 2016)

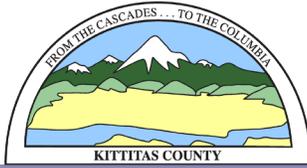
Required Permits: Shoreline Variance, Building Permit

The following development regulations will be used for project mitigation and consistency: Shoreline Master Program, Kittitas County Critical Areas Ordinance Title 17A, and Kittitas County Shorelines Title 17B.

Staff contact: Zach Torrance-Smith, Staff Planner: (509) 962-7079; email at zach.torrancesmith@co.kittitas.wa.us

Notice of Application: February 28, 2025
Application Received: February 6, 2025
Application Complete: February 25, 2025

PUBLISH: Daily Record: March 4, 2025 /
LEGAL #613686



KITTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTITAS.WA.US

Office (509) 962-7506

"Building Partnerships – Building Communities"

April 2, 2025

Jason Allen
822 NW 107th Street
Seattle, WA 98177

Encompass Engineering & Surveying
Attn: Monica Tappel
110 South Oakes Ave. #250
Cle Elum, WA 98922

RE: Allen Shoreline Variance, SV-25-00001 - Transmittal of Comments

Dear Applicant,

The comment period for the Allen Shoreline Variance, SV-25-00001, ended on April 1, 2025, at 5:00 pm. Community Development Services received the following comments:

- March 13, 2025 Confederated Tribes of the Colville Reservation
- March 26, 2025 Kittitas County Public Works
- March 28, 2025 Washington State Dept. of Ecology
- March 31, 2025 Bonneville Power Administration
- April 1, 2025 Washington State Dept. of Fish & Wildlife

If you wish to provide responses to any of the received comments, please do so **by 5:00 pm on April 17, 2025**, so that staff can incorporate and consider any of your responses into the staff report. If you would like additional time to address any of the comments, please contact me directly to extend the response due date. If staff have not heard from you by April 17, 2025, we will proceed with our staff report and decision on the shoreline variance. If you have questions about any comments from an agency, please contact them directly.

If you have any questions regarding this matter, please contact me at (509) 962-7079, or by e-mail at zach.torrancesmith@co.kittitas.wa.us

Sincerely,

Zach Torrance-Smith
Staff Planner

Enclosed: Comments listed above

From: [Rodgers,Deborah \(CONTR\) - TERR-TRI CITIES RMHQ](#)
To: [Zach Torrance-Smith](#)
Subject: RE: SV-25-00001 Allen - Notice of Application
Date: Monday, March 31, 2025 4:48:17 PM

CAUTION: This email originated from outside the Kittitas County network. Do not click links, open attachments, fulfill requests, or follow guidance unless you recognize the sender and have verified the content is safe.

Zach,

Bonneville Power Administration (BPA) has had the opportunity to review SV-25-00001 Allen - Notice of Application.

In researching our records, we have found that this proposal will not directly impact BPA facilities. BPA does not have any objections to the approval of this request at this time.

If you have any questions or need additional information, please feel free to contact Valorie Connell at (509) 544-4746 or by email at VLConnell@bpa.gov.

Thank you for the opportunity to review this application.

Deborah Rodgers
[BONNEVILLE POWER ADMINISTRATION](#)
[DEPARTMENT OF ENERGY](#)
(CONTR) Actalent
Realty Technician 3 | Real Property Field Services | TERR/Tri-Cities-RMHQ
dxrodgers@bpa.gov | O: 509-544-4749 | C: 360-624-0566

From: Zach Torrance-Smith <zach.torrancesmith@co.kittitas.wa.us>
Sent: Friday, February 28, 2025 1:14 PM
To: Dan Young <dan.young@co.kittitas.wa.us>; Marvin Douvier (SH) <marvin.douvier.sh@co.kittitas.wa.us>; Kim Dawson <kim.dawson@co.kittitas.wa.us>; adminstaff@kittcom.org; storch@kittcom.org; Julie Kjorsvik <julie.kjorsvik@co.kittitas.wa.us>; Laura Kukes <laura.kukes@co.kittitas.wa.us>; Public Health Inspectors <PublicHealthInspectors@co.kittitas.wa.us>; Lisa Lawrence <lisa.lawrence@co.kittitas.wa.us>; Patti Stacey <patti.stacey@co.kittitas.wa.us>; Kelee Hodges <kelee.hodges.pw@co.kittitas.wa.us>; Candie Leader <candie.leader@co.kittitas.wa.us>; Tate Mahre <tate.mahre@co.kittitas.wa.us>; Jackie Sharp <jackie.sharp@co.kittitas.wa.us>; Samantha Cox <samantha.cox@co.kittitas.wa.us>; Josh Fredrickson <josh.fredrickson@co.kittitas.wa.us>; Rebecca Cruse (PW) <rebecca.cruse.pw@co.kittitas.wa.us>; Cameron Curtis <cameron.curtis@co.kittitas.wa.us>; Jeremy

Larson <jeremy.larson@co.kittitas.wa.us>; Steph Mifflin <steph.mifflin@co.kittitas.wa.us>; Haley Mercer <haley.mercer@co.kittitas.wa.us>; Christy Garcia <christine.garcia@co.kittitas.wa.us>; ken.edwards@kittitaspud.com; sepa@dahp.wa.gov; enviroreview@yakama.com; corrine_camuso@yakama.com; jessica_lally@yakama.com; noah_oliver@yakama.com; casey_barney@yakama.com; kozj@yakamafish-nsn.gov; batt@yakimafish-nsn.gov; guy.moura@colvilletribes.com; sam.rushing@colvilletribes.com; connor.armi.hsy@colvilletribes.com; darnell.sam.adm@colvilletribes.com; john.sirois.adm@colvilletribes.com; milton.davis.adm@colvilletribes.com; steve@snoqualmietribe.us; dahp@snoqualmietribe.us; adam@snoqualmietribe.us; russell.mau@doh.wa.gov; tebu461@ecy.wa.gov; lowh461@ECY.WA.GOV; FormerOrchards@ecy.wa.gov; wendy.neet@ecy.wa.gov; ECY RE CRO SEPA Coordinator <crosepa@ecy.wa.gov>; rand461@ECY.WA.GOV; Downes, Scott G (DFW) <Scott.Downes@dfw.wa.gov>; Jennifer.Nelson@dfw.wa.gov; cassandra.weekes@dfw.wa.gov; rivers@dnr.wa.gov; luke.warthen@dnr.wa.gov; SEPACENTER@dnr.wa.gov; MARTIN.MAUNEY@dnr.wa.gov; Moody, Amanda (DNR) <Amanda.Moody@dnr.wa.gov>; Hendrix, Leah D <lhendrix@usbr.gov>; Hoff, Jennifer L <jhoff@usbr.gov>; ken.graham@parks.wa.gov; john.ernster@parks.wa.gov; rachel.mazzacavallo@parks.wa.gov; real.estate@parks.wa.gov; kimberly.larned@usda.gov; deborah.j.knaub@usace.army.mil; Jenae.N.Churchill@usace.army.mil; Jacob.Prilucik@wsdot.wa.gov; SCPlanning@wsdot.wa.gov; AviationLandUse@wsdot.wa.gov; CMOlcese@bpa.gov; Connell,Valorie L (BPA) - TERR-PASCO <VLConnell@bpa.gov>; Rodgers,Deborah (CONTR) - TERR-TRI CITIES RMHQ <dxroddgers@bpa.gov>; rightofway@pse.com; Marcus, Dylan <Dylan.Marcus@pse.com>; brooksideconsulting@gmail.com; office@kcf7.com; Aaron Lowe <ALowe@kcf7.com>; kcarlson@kcf7.com; robertsb@cersd.org; communityrelations@cersd.org
Cc: Jamey Ayling <jamey.ayling@co.kittitas.wa.us>; Ellie Myers <ellie.myers@co.kittitas.wa.us>; Bradley Gasawski <bradley.gasawski@co.kittitas.wa.us>
Subject: SV-25-00001 Allen - Notice of Application

Good afternoon,

CDS is requesting comments on the following Shoreline Variance application: SV-25-00001 Allen.

Links to the file materials can be found below. The comment period will end on **April 1, 2025, at 5pm**. CDS will assume your agency does not wish to provide comment if not received by this date.

Please let me know if you have any issues accessing the materials.

Internal Link: [SV-25-00001 Allen](#)

External Link: [SV-25-00001 Allen](#)

If the links above do not work, please go to the CDS website at <https://www.co.kittitas.wa.us/cds/land-use/default.aspx> and navigate to “**Shoreline Variances**” and then the project file number “**SV-25-00001 Allen**”.

Zach Torrance-Smith

Planner I

Kittitas County Community Development Services

411 N. Ruby St., Suite 2

Ellensburg, WA 98926

P: 509-962-7079

zach.torrancesmith@co.kittitas.wa.us

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message id: 38eb45916c6dcbdac24bb8719d004a14

From: [Connor Armi](#)
To: [Zach Torrance-Smith](#)
Cc: [Guy Moura](#); [DAHP SEPA](#)
Subject: Re: SV-25-00001 Allen - Notice of Application
Date: Thursday, March 13, 2025 8:13:12 AM

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Hello Zach,

This compliance review is in response to SV-25-00001 Allen. The proposed project involves minimal ground disturbance in the demolition and construction of a new deck attached to an existing residential structure. The project area is within the Very High risk area for an inadvertent discovery according to the DAHP predictive model.

We request an IDP be in place prior to project implementation.

Sincerely,
Connor Armi | Archaeologist Senior MA, RPA
History/Archaeology Program
Confederated Tribes of the Colville Reservation
PO Box 150 | Nespelam, WA 99155
d: 509-634-2690 | c: 509-631-1131
connor.armi.hsy@colvilletribes.com

On Fri, Feb 28, 2025 at 1:14 PM Zach Torrance-Smith
<zach.torrancesmith@co.kittitas.wa.us> wrote:

Good afternoon,

CDS is requesting comments on the following Shoreline Variance application: SV-25-00001 Allen.

Links to the file materials can be found below. The comment period will end on **April 1, 2025, at 5pm**. CDS will assume your agency does not wish to provide comment if not received by this date.

Please let me know if you have any issues accessing the materials.

Internal Link: SV-25-00001 Allen

External Link: [SV-25-00001 Allen](#)

If the links above do not work, please go to the CDS website at <https://www.co.kittitas.wa.us/cds/land-use/default.aspx> and navigate to “**Shoreline Variances**” and then the project file number “**SV-25-00001 Allen**”.

Zach Torrance-Smith

Planner I

Kittitas County Community Development Services

411 N. Ruby St., Suite 2

Ellensburg, WA 98926

P: 509-962-7079

zach.torrancesmith@co.kittitas.wa.us

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STATE OF WASHINGTON
DEPARTMENT OF ECOLOGY

Central Region Office
1250 West Alder St., Union Gap, WA 98903-0009 • 509-575-2490

March 28, 2025

Zach Torrance-Smith
Kittitas County Community Development Services
411 N. Ruby St., Suite 2
Ellensburg, WA 98926

RE: 202500772, SV-25-00001

Dear Zach Torrance-Smith:

Thank you for the opportunity to comment on the Notice of Application for the Allen Shoreline Variance. We have reviewed the environmental checklist and have the following comments.

Shorelands and Environmental Assistance Program

The applicant is requesting a variance in order to expand a non-conforming use. Ecology published guidance titled [Variance Permit Reviews Guidance for Local Governments](#) in June 2023. It is recommended that the applicant consider the variance review criteria in WAC 173-27-170(2). Relevant to all applications for Shoreline Variance Permits, all considerations provided by Washington Administrative Code (WAC) 173-27-170(2) must meet the criteria of the WAC in order for a variance to receive approval.

Sincerely,

Amber Johnson
SEPA Coordinator
Central Region Office
509-723-5677
crosepacoordinator@ecy.wa.gov



KITITAS COUNTY

DEPARTMENT OF PUBLIC WORKS

MEMORANDUM

TO: All Staff
FROM: Public Works Plan Review Team
DATE: March 26, 2025
SUBJECT: SV-25-00001 Allen

| | |
|-----------------------------------|---|
| ENGINEERING | Except as exempted in KCC 14.05.060, no grading or filling upon a site involving more than one hundred (100) cubic yards shall be performed without a grading permit from the County Engineer or Public Works designee (KCC 14.05.050). An application for grading in excess of five hundred (500) cubic yards shall be accompanied by an engineered grading plan (KCC 14.05.080). (CP) |
| FLOOD | <p>A floodplain development application is required for the proposed project. Since this is a remodel/addition to an existing structure a substantial improvement worksheet must also be submitted with the application. If the project is a substantial improvement to the post-FIRM structure, the whole structure must meet current KCC 14.08 Flood Damage Prevention standards.</p> <p>A portion of the parcel is within the floodway. The deck must be outside of the floodway boundary, or a no-rise certificate must be provided that shows the encroachment would not cause any increase to the 100-year flood elevation. Prior to construction it is advised to have a surveyor mark the floodway boundary on site to avoid unintentional encroachment. The floodway boundary being marked on site will be required for the final flood inspection. (SC)</p> |
| WATER MITIGATION/ METERING | No comments. (SC) |
| AIRPORT | No comments. (JS) |

Please contact Kittitas County Public Works (509) 962-7523 with any questions.



State of Washington
DEPARTMENT OF FISH AND WILDLIFE

South Central Region • Region 3 • 1701 South 24th Avenue, Yakima, WA 98902-5720
Telephone: (509) 575-2740

April 1, 2025

Zach Torrance-Smith
Planner
Kittitas County Community Development Services
411 N. Ruby Street; Suite 2
Ellensburg, WA 98926

SUBJECT: WDFW COMMENTS ON SV-25-00001 Allen Shoreline Variance

Dear Mr. Torrance-Smith,

The Washington Department of Fish and Wildlife (WDFW) has reviewed the application materials associated with the proposed Shoreline Variance and we've visited the parcel with Mr. Allen in September 2024.

The Yakima River is a Shoreline of Statewide significance and is home to numerous native fish, including ESA listed steelhead and bull trout as well as Spring Chinook and Coho salmon within this reach. The Yakima River is also home to freshwater mussels, with one of the largest known in Washington State just down river from the Allen property. Riparian and Shoreline vegetation helps to stabilize stream banks, provide shade and leaf litter, and helps to filter pollutants before they enter the river. Native shoreline vegetation also helps protect the riverbanks from erosion, providing value not only to fish and wildlife, but to people as well.

The proposed project will expand the deck by 179 square feet into the Shoreline buffer along the Yakima River and proposes planting 20 livestakes along the bank as mitigation. The proposed mitigation is insufficient as proposed and WDFW recommends a more robust planting plan for the shoreline that includes monitoring, maintenance, reporting, and permanent protections to ensure the additional encroachment into the buffer does not negatively impact aquatic resources. WDFW recommends 1) that the mitigation planting area be at least as big as the area of encroachment (179 square feet), 2) that the newly vegetated area have at least 80% survival after three years, and 3) that there are permanent protections on the mitigation area associated with the proposed permanent encroachment into the buffer.

WDFW would be pleased to work with the County and applicants to review the riparian management plan prior to approval to assist in finding mutually agreeable riparian species. Please feel free to contact me at (509) 961-6639 or Jennifer.nelson@dfw.wa.gov if you have any questions about these comments.

Sincerely,

A handwritten signature in cursive script that reads "Jennifer Nelson". The signature is written in black ink and is positioned below the word "Sincerely,".

Jennifer Nelson
Area Habitat Biologist

From: [Monica Tappel](#)
To: [Zach Torrance-Smith](#); [Jason Allen](#)
Cc: [Jamey Ayling](#); [Ellie Myers](#); [Bradley Gasawski](#); [Marc Kirkpatrick](#); [Amy Donlan](#)
Subject: RE: SV-25-00001 Allen - Transmittal of Comments
Date: Wednesday, April 16, 2025 12:30:30 PM

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Good morning Zach,

Thank you for your email.

In response to the comment provided by WDFW - Our client will implement the mitigation plan proposed by WDFW.

In response to the comment provided by The Confederated Tribes of the Colville Reservation – An IDP will be in place prior to project implementation.

In response to the comments provided by Kittitas County Public Works – Engineering and Flood requirements are understood and will be implemented.

Best Regards,

Monica Tappel

Office Administrator

D: (509) 656-4618

MTappel@encompasses.net

www.EncompassES.net

Eastern Washington: 110 South Oakes Ave. #250, Cle Elum, WA 98922 | **P:** (509) 674-7433

Western Washington: 165 NE Juniper St., Suite 201, Issaquah, WA 98027 | **P:** (425) 392-0250

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From: Zach Torrance-Smith <zach.torrancesmith@co.kittitas.wa.us>

Sent: Tuesday, April 15, 2025 1:10 PM

To: Monica Tappel <MTappel@encompasses.net>; Jason Allen <jason.c.allen.1@gmail.com>

Cc: Jamey Ayling <jamey.ayling@co.kittitas.wa.us>; Ellie Myers <ellie.myers@co.kittitas.wa.us>; Bradley Gasawski <bradley.gasawski@co.kittitas.wa.us>; Marc Kirkpatrick

<mkirkpatrick@encompasses.net>; Amy Donlan <ADonlan@encompasses.net>

Subject: RE: SV-25-00001 Allen - Transmittal of Comments

Good afternoon,

I don't know what determination the Dept. of Ecology will make in this case. Shoreline Variances in general are a difficult project for the Dept. of Ecology to sign off on, but again I don't know what determination they will make. After we've generated our staff report, we make a recommendation to the Hearings Examiner, then the Hearings Examiner makes their recommendation to Ecology, who has the final say on all Shoreline Variances.

Let us know if you have further questions.

Zach Torrance-Smith

Planner I

Kittitas County Community Development Services

411 N. Ruby St., Suite 2

Ellensburg, WA 98926

P: 509-962-7079

zach.torrancesmith@co.kittitas.wa.us

If this is about a Public Records request, please go to <http://www.co.kittitas.wa.us/request/default.aspx> and fill out a request for public records through the GovQA portal.

From: Monica Tappel <MTappel@encompasses.net>

Sent: Tuesday, April 15, 2025 11:38 AM

To: Zach Torrance-Smith <zach.torrancesmith@co.kittitas.wa.us>; Jason Allen <jason.c.allen.1@gmail.com>

Cc: Jamey Ayling <jamey.ayling@co.kittitas.wa.us>; Ellie Myers <ellie.myers@co.kittitas.wa.us>; Bradley Gasawski <bradley.gasawski@co.kittitas.wa.us>; Marc Kirkpatrick <mkirkpatrick@encompasses.net>; Amy Donlan <ADonlan@encompasses.net>

Subject: RE: SV-25-00001 Allen - Transmittal of Comments

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Hi Zach,

Thank you for your response regarding the WDFW comment. Are you able to provide any information regarding the DOE comment?

The Department of Ecology's comment was only that the application needed to meet WAC 173-27-170, in the County's opinion do you believe the arguments, as they are currently presented, would meet those requirements?

Thanks again!

Monica Tappel

Office Administrator

D: (509) 656-4618

MTappel@encompasses.net

www.EncompassES.net

Eastern Washington: [110 South Oakes Ave. #250, Cle Elum, WA 98922](#) | **P:** (509) 674-7433

Western Washington: [165 NE Juniper St., Suite 201, Issaquah, WA 98027](#) | **P:** (425) 392-0250

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From: Zach Torrance-Smith <zach.torrancesmith@co.kittitas.wa.us>

Sent: Tuesday, April 15, 2025 11:03 AM

To: Monica Tappel <MTappel@encompasses.net>; Jason Allen <jason.c.allen.1@gmail.com>

Cc: Jamey Ayling <jamey.ayling@co.kittitas.wa.us>; Ellie Myers <ellie.myers@co.kittitas.wa.us>;

Bradley Gasawski <bradley.gasawski@co.kittitas.wa.us>; Marc Kirkpatrick

<mirkpatrick@encompasses.net>; Amy Donlan <ADonlan@encompasses.net>

Subject: RE: SV-25-00001 Allen - Transmittal of Comments

Good morning Monica,

We shouldn't need an extension to the comment response period. If you and your clients incorporate that you are willing to collaborate with WDFW's mitigation recommendations in your response to transmitted comments, that should be sufficient to address their concerns.

Let me know if you have any further questions or concerns.

Zach Torrance-Smith

Planner I

Kittitas County Community Development Services

411 N. Ruby St., Suite 2

Ellensburg, WA 98926

P: 509-962-7079

zach.torrancesmith@co.kittitas.wa.us

If this is about a Public Records request, please go to <http://www.co.kittitas.wa.us/request/default.aspx> and fill out a request for public records through the GovQA portal.

From: Monica Tappel <MTappel@encompasses.net>

Sent: Tuesday, April 15, 2025 10:47 AM

To: Zach Torrance-Smith <zach.torrancesmith@co.kittitas.wa.us>; Jason Allen <jason.c.allen.1@gmail.com>

Cc: Jamey Ayling <jamey.ayling@co.kittitas.wa.us>; Ellie Myers <ellie.myers@co.kittitas.wa.us>; Bradley Gasawski <bradley.gasawski@co.kittitas.wa.us>; Marc Kirkpatrick <mkkirkpatrick@encompasses.net>; Amy Donlan <ADonlan@encompasses.net>

Subject: RE: SV-25-00001 Allen - Transmittal of Comments

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Good morning Zach,

Thank you for sending over the comments. I do have a couple of questions regarding the comments that I am hoping you would be able to answer.

With regards to WDFW comments for a more substantial mitigation plan. There is no problem doing the extra mitigation and we can have Ed update the report and include a monitoring report. Would you need the updated report prior to preparing your staff report and making a determination? If so, we would likely need to request an extension on responding to the comments so we can work with Ed to get that completed. If we do need an extension, what is the process for that and how much time would that allot?

The Department of Ecology's comment was only that the application needed to meet WAC 173-27-170, in the County's opinion do you believe the arguments, as they are currently presented, would meet those requirements?

Thank you for your help and time,

Monica Tappel

Office Administrator

D: (509) 656-4618

MTappel@encompasses.net

www.EncompassES.net

Eastern Washington: [110 South Oakes Ave. #250, Cle Elum, WA 98922](#) | P: (509) 674-7433

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From: Zach Torrance-Smith <zach.torrancesmith@co.kittitas.wa.us>

Sent: Wednesday, April 2, 2025 2:30 PM

To: Jason Allen <jason.c.allen.1@gmail.com>; Monica Tappel <MTappel@encompasses.net>

Cc: Jamey Ayling <jamey.ayling@co.kittitas.wa.us>; Ellie Myers <ellie.myers@co.kittitas.wa.us>;

Bradley Gasawski <bradley.gasawski@co.kittitas.wa.us>

Subject: SV-25-00001 Allen - Transmittal of Comments

Good afternoon,

Please see the attached comments regarding your Shoreline Variance application. Please respond to these in a timely manner, after which we will move ahead to the next phase of this project.

If we have not received a response by April 17, 2025, we will assume you have no objections to any of the comments and will proceed to the next phase.

Let me know if you have any questions.

Zach Torrance-Smith

Planner I

Kittitas County Community Development Services

411 N. Ruby St., Suite 2

Ellensburg, WA 98926

P: 509-962-7079

zach.torrancesmith@co.kittitas.wa.us

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KITTTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTTITAS.WA.US

Office (509) 962-7506

"Building Partnerships – Building Communities"

Affidavit of Mailing & Publication

PROPOSAL NAME: (SV-25-00001) Allen

NOTIFICATION OF: Notice of Public Hearing

NOTIFICATION MAIL DATE: April 23, 2025

I certify that the following documentation:

- Notice of Public Hearing for Allen Shoreline Variance

has been mailed and/or emailed to the attached list of persons and participants, and that proper notification (as attached) has been published in the Legal Newspaper(s) of Record for Kittitas County.

Signature

Zach Torrance-Smith
Planner I
County of Kittitas
State of Washington

Notice of Public Hearing Allen Shoreline Variance SV-25-00001

NOTICE IS HEREBY given that the Allen Shoreline Variance virtual public hearing has been scheduled for **May 14, 2025 at 2 p.m.** before the Kittitas County Hearings Examiner. The applicant is proposing a minor deck addition to an existing Single-Family Residence. The net addition to the deck will be 179 square feet. A smaller 63 square foot deck will be removed. Applicants will also remodel the interior of the home with no increased footprint. This work is proposed within the Shoreline Residential Shoreline of the State of the Yakima River.

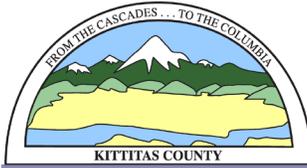
All interested parties are encouraged to attend the hearing by using one of the methods listed below:

1. By online Webex video conferencing: Meeting Link – <https://kittitascounty.webex.com/kittitascounty/j.php?MTID=m4fa06f174b6947b92478a6e1feab7128>
2. By <https://kittitascounty.webex.com> or the Cisco Webex App on your phone or electronic device: Meeting Number: 2485 669 9209 Meeting Password: 3Vm5tcjdtP3
3. By telephone: 1-408-418-9388, Meeting/Access Number: 24856699209##
Instructions for how to participate in virtual public hearings may be found at: <https://www.co.kittitas.wa.us/uploads/documents/cds/Virtual%20Public%20Hearing%20Instructions.pdf>.

Anyone with an interest in this matter is urged to attend this noticed hearing where testimony will be taken. Written comments will be received. Documents may be viewed at <https://www.co.kittitas.wa.us/cds/land-use/planning-projects.aspx?archive=Active&title=Shoreline%20Variances>, under “Shoreline Variances” file number “SV-25-00001 Allen,” or at Kittitas County Community Development Services, 411 N. Ruby St. Suite 2, Ellensburg, WA 98926 prior to the hearing. Interested persons are encouraged to verify date and time prior to attending. Please contact staff for the virtual hearing website link and instructions on how to join.

Staff Planner: Zach Torrance-Smith

Dated: April 23, 2025
Received: February 6, 2025
Complete: February 25, 2025
Notice of Application: February 28, 2025
Publish in: Daily Record – April 29, 2025



KITTTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTTITAS.WA.US

Office (509) 962-7506

"Building Partnerships – Building Communities"

Notice of Public Hearing Allen Shoreline Variance SV-25-00001

To: Adjacent Property Owners
Applicant

From: Zach Torrance-Smith, Planner I

Date: April 23, 2025

Subject: Allen Shoreline Variance (SV-25-00001)

NOTICE IS HEREBY given that the Allen Shoreline Variance virtual public hearing has been scheduled for **May 14, 2025 at 2 p.m.** before the Kittitas County Hearings Examiner. The applicant is proposing a minor deck addition to an existing Single-Family Residence. The net addition to the deck will be 179 square feet. A smaller 63 square foot deck will be removed. The applicants will also remodel the interior of the home with no increase to the existing footprint. This work is proposed within the Shoreline Residential Shoreline of the State of the Yakima River.

All interested parties are encouraged to attend the hearing by using one of the methods listed below:

1. By online Webex video conferencing: Meeting Link – <https://kittitascounty.webex.com/kittitascounty/j.php?MTID=m4fa06f174b6947b92478a6e1feab7128>
2. By <https://kittitascounty.webex.com> or the Cisco Webex App on your phone or electronic device: Meeting Number: 2485 669 9209 Meeting Password: 3Vm5tcjdtP3
3. By telephone: 1-408-418-9388, Meeting/Access Number: 24856699209##

Instructions for how to participate in virtual public hearings may be found at:

<https://www.co.kittitas.wa.us/uploads/documents/cds/Virtual%20Public%20Hearing%20Instructions.pdf>.

Anyone with an interest in this matter is urged to attend this noticed hearing where testimony will be taken. Written comments will be received. Documents may be viewed at <https://www.co.kittitas.wa.us/cds/land-use/planning-projects.aspx?archive=Active&title=Shoreline%20Variances>, under "Shoreline Variances" file number "SV-25-00001 Allen," or at Kittitas County Community Development Services, 411 N. Ruby St. Suite 2, Ellensburg, WA 98926 prior to the hearing. Interested persons are encouraged to verify date and time prior to attending. Please contact staff to obtain the virtual hearing website link and information on how to join.

Staff Planner: Zach Torrance-Smith

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